



2215 Sheyenne Street
 West Fargo, ND 58078
 Phone: (701) 356-3956
 Fax: (701) 356-8798

REQUEST FOR PROPSAL

PROJECT #: 656-21-236		PROJECT NAME: EHRM Admin & Training	
PROPOSAL DUE DATE:		TIME DUE:	PROPOSAL SENT TO:
Tuesday January 17		12:00PM CST	thagen@mdmconst.com dnotch@mdmconst.com
PURPOSE:		PREPARED BY:	DATE ISSUED:
RFI and Bulletins		Trent Hagen	1/6/2023

RELEVANT DOCUMENTS	ANTICIPATED TRADES AFFECTED:
RFI #9, 11, 13, 14 ,19 & Bulletin #1 - #2	All

INSTRUCTIONS FOR RFP'S

- Provide proposal on company letter head, AND
- Provide detailed breakdown of Labor
 - Quantity of hours
 - Rate of Pay/Hour
- Provide detailed materials list
 - Quantities of materials
 - Unit costs, extended costs of each material type
 - Material quotes from suppliers, if applicable
 - Material lead time, if applicable
 - Equipment rates, if applicable
- Include all proposal breakdowns for your subcontractors
- Include any additional time needed(days) to complete or note if delays are expected
- **If you have no additional costs- please reply back NO ADDED COSTS**

If you have questions please contact me immediately for clarifications.

Thank you,

Trent Hagen
 Senior Project Manager
 701-367-4765
thagen@mdmconst.com

ST. CLOUD VA HEALTH CARE SYSTEM
ST. CLOUD, MN.
PROJECT NAME: EHRM Training & Admin Support
VA PROJECT NO: 656-21-236
BAE NO: 18-116

CONSTRUCTION BULLETIN NO. 001

ISSUE DATE: 6/27/2022 3:35 PM

TITLE: Bulletin 1

This Construction Bulletin consists of:

Narrative - (1) Pages

1. Drawings – (6) drawings were MODIFIED

The following instructions herein and the listed documents below are hereby modified to be incorporated as part of the contract documents.

CHANGES TO DRAWINGS (see attached full size sheets):

1. **AD-101**

The following revisions are required:

MODIFIED 1/AD101;

Keynote 9 was added

Now Partial 2nd floor is detail 2 as both plans were labeled 1.

2/AD101 – removed Keynote 6 and added Keynote 10

Keynote 9 and 10 are added to Plan Demolition Keynotes

2. **A-502**

- a. Detail 13/A502 was added

3. **M-101**

- a. Louver LV-3 relocated.
- b. Showed steam pipe risers for consistency with architectural drawing.

4. **M-102**

- a. Added demolition keynote 4.
- b. Updated second floor mechanical plan.

5. **P-101**

- a. Added new vent line routing.

6. **PD-101**

- a. Added demolition keynotes 3,4, 5, 6 and 7.
- b. Demolished water fountain.
- c. Showed demolition extent of vent piping.
- d. Showed demolition of existing domestic hot and cold water supply.
- e. Updated basement sanitary demolition plan.

END OF CONSTRUCTION BULLETIN NO. 001



TRANSMITTAL

June 27, 2022

To:

St Cloud - VA Health Care System
Facilities Management – Projects
BLDG 3 RM 205
4801 Veterans Drive,
St. Cloud, MN 56303

Project:

EHRM Training Admin Space
VA Contract No. 36C26319D0022
VA Project No. 656-21-236
Bancroft-AE Project No. 18-116

Transmittal: Construction Bulletin No. 001

We Transmit:

- Attached
- Under Separate Cover
- Via US Mail
- Via FedEx

For Your:

- Approval
- Review/Comment
- Use
- Record/File

Action Required:

Date Received: _____
Received By: _____

Contents:

Construction Bulletin No. 01

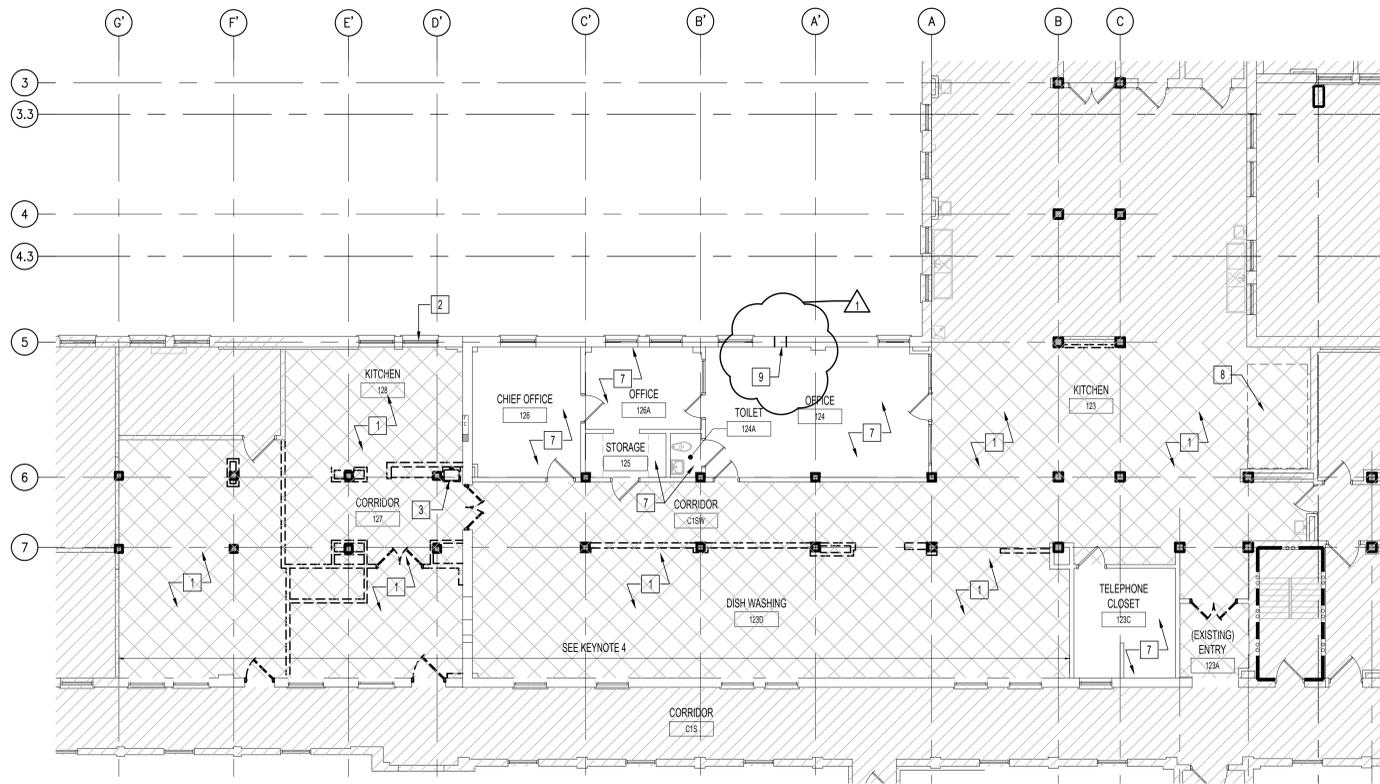
- A. Narrative
- B. Modified Drawings (.pdf form)
 - a. 656-21-236_AD101
 - b. 656-21-26_Details_A502
 - c. 656-21-236_M101-M101
 - d. 656-21-236_M102-M102
 - e. 656-21-236_P101-P101
 - f. 656-21-236_PD101-PD101

Action Required:

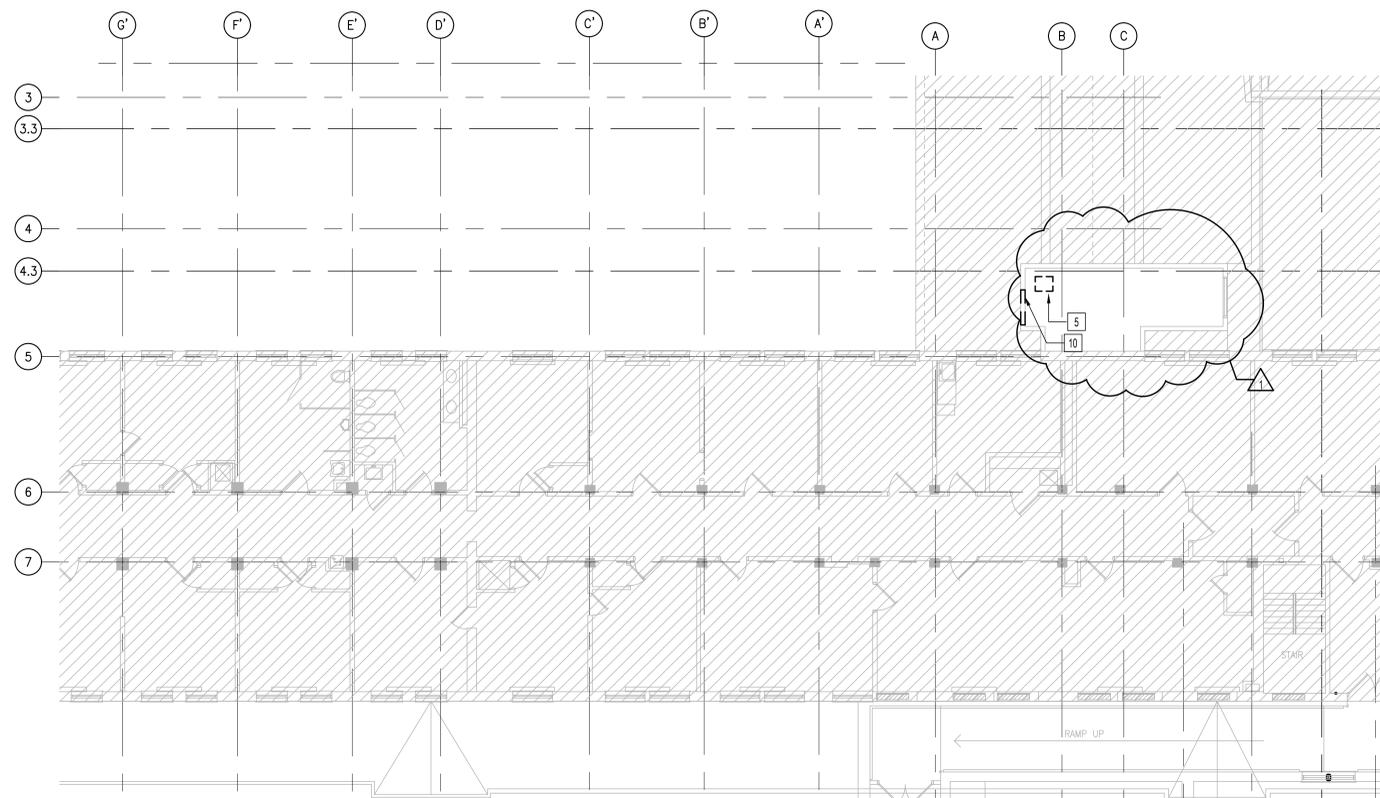
Sincerely,

Darlene Flook

Project Manager
Bancroft Architects + Engineers



1 ARCHITECTURAL DEMOLITION PLAN - PARTIAL FIRST FLOOR
1/8"=1'-0"



1 ARCHITECTURAL DEMOLITION PLAN - PARTIAL SECOND FLOOR / ATTIC ABOVE KITCHEN
1/8"=1'-0"

GENERAL PLAN DEMOLITION NOTES

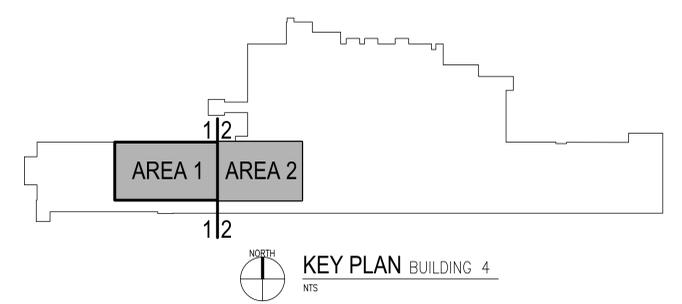
- REVIEW THIS DRAWING IN CONJUNCTION WITH CORRESPONDING PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR FULL SCOPE OF DEMOLITION WORK. REFER TO SHEET 0603 FOR GENERAL DEMOLITION NOTES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE DEMOLITION AND REMOVAL OF ALL EXISTING WALLS, CEILINGS, FLOORS, ELECTRICAL, TELEPHONE, FIRE PROTECTION, HVAC AND PLUMBING CONSTRUCTION AS WELL AS ALL MATERIALS, FINISHES AND EQUIPMENT THAT IS NOT SPECIFICALLY SHOWN OR CALLED FOR AS REQUIRED TO FACILITATE THE NEW CONSTRUCTION WORK INSIDE THE CONTRACT AREA, THE ADJACENT SPACES AND THE SPACES BELOW. SOME ADDITIONAL ITEMS THAT MAY NOT BE SPECIFICALLY SHOWN ON THE DEMOLITION PLAN THAT ARE A PART OF THE DEMOLITION WORK, BUT NOT LIMITED TO, ARE CASEWORK, SHELVING, DOOR HARDWARE, MISC. HARDWARE, SIGNAGE, FLOORING, WALL BASE, WOOD GROUNDS, WALL COVERING MATERIALS, REMAINING MASTIC AND SEALANTS, EXPOSED ANCHORS AND FASTENERS, FRAMING MATERIALS, CHAIR RAILS, BRACKETS, HOOKS, ETC.
- VERIFY EXISTING CONDITIONS AND PROMPTLY REPORT ANY DRAWING DISCREPANCIES TO THE ODR AND ARCHITECT.
- ALL CONSTRUCTION TO REMAIN THAT IS AFFECTED BY DEMOLITION SHALL BE PATCHED AND BE PROPERLY MEMBERED AND ALIGNED SO AS TO LEAVE NO EVIDENCE OF PATCHING OR REPAIR.
- IF DURING THE COURSE OF REMOVAL OF EXISTING FINISHES FROM ITEMS INDICATED TO REMAIN (FLOORS, WALLS, ETC.), THE SUBSTRATE BECOMES DAMAGED BEYOND REPAIR, REPLACE DAMAGED SECTION TO THE POINT WHERE NEW FINISHES CAN BE APPLIED WITHOUT DETECTION OF DAMAGED AREAS.
- WHERE WALLS HAVE TO REMAIN, FILL ANY VOIDS IN FLOOR WITH NON-SHRINK GROUT AS REQUIRED PRIOR TO PATCHING AND LEVELING FOR NEW FLOOR FINISHES.

PLAN DEMOLITION LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING PARTITION TO BE REMOVED IN ITS ENTIRETY, INCLUDING WALL SWITCHES, OUTLETS, THERMOSTATS, ETC. PATCH ABUTTING WALLS, FLOORS AND CEILINGS AS REQUIRED. REMOVE EXISTING ITEMS SCHEDULED TO REMAIN AS NECESSARY TO ALLOW THE COMPLETE DEMOLITION OF SELECTED ITEMS. REPAIR/REPLACE EXISTING ITEMS ONCE DEMOLITION IS COMPLETED.
- EXISTING DOOR, FRAME AND HARDWARE TO BE REMOVED.
- EXISTING DOOR TO REMAIN
- AREA NOT INCLUDED IN CONTRACT
- EXISTING TILE FLOOR FINISH

X PLAN DEMOLITION KEYNOTES

- EXISTING TILE FLOOR FINISH TO REMAIN. THOROUGHLY CLEAN AND DRY. SKIN COAT WITH ARDEX TYPE LEVELING COMPOUND BEFORE APPLICATION OF NEW FLOORING.
- REMOVE EXISTING WINDOW AC UNIT ASSEMBLY AND PREP TO RECEIVE LOUVER ASSEMBLY. COORDINATE WITH MECHANICAL DRAWINGS.
- REMOVE SINK AND ASSOCIATED PLUMBING. COORDINATE WITH PLUMBING DRAWINGS.
- EXISTING FINISHES AT EXTERIOR WALL TO BE REMOVED TO EXPOSE MASONRY SUBSTRATE. MASONRY SUBSTRATE TO BE CLEANED, PREPPED AND PLUMB FOR NEW FLOORING.
- EXISTING DUCT PENETRATION TO BE REUSED. COORDINATE WITH MECHANICAL DRAWINGS.
- EXISTING LOUVER TO BE REMOVED. CLEAN AND PREP OPENING TO RECEIVE NEW LOUVER. SEAL PERIMETER OF LOUVER TO CREATE WEATHERPROOF ENCLOSURE. COORDINATE WITH MECHANICAL DRAWINGS.
- NO DEMOLITION CONSTRUCTION WORK IN THIS AREA. AREA TO REMAIN ACCESSIBLE DURING CONSTRUCTION.
- EXISTING OVEN TO REMAIN
- SAWCUT EXISTING MASONRY WALL TO ACCOMMODATE SCHEDULED LOUVER. WALL CONSTRUCTION IS 3 WYTHES OF MASONRY. PATCH INTERIOR WALL TO MATCH EXISTING AND TO LEAVE NO EVIDENCE OF WORK. APPLY SEALANT AROUND PERIMETER OF LOUVER IN MASONRY WALL. LOUVER AND OPENING IS MADE ABOVE EXISTING CEILING LINE.
- DEMO EXISTING WALL CONSTRUCTION TO ACCOMMODATE SCHEDULED LOUVER. WALL CONSTRUCTION IS METAL PANELING ON WOOD FRAME CONSTRUCTION. SEE DETAIL 13/502 FOR LOUVER DETAIL.



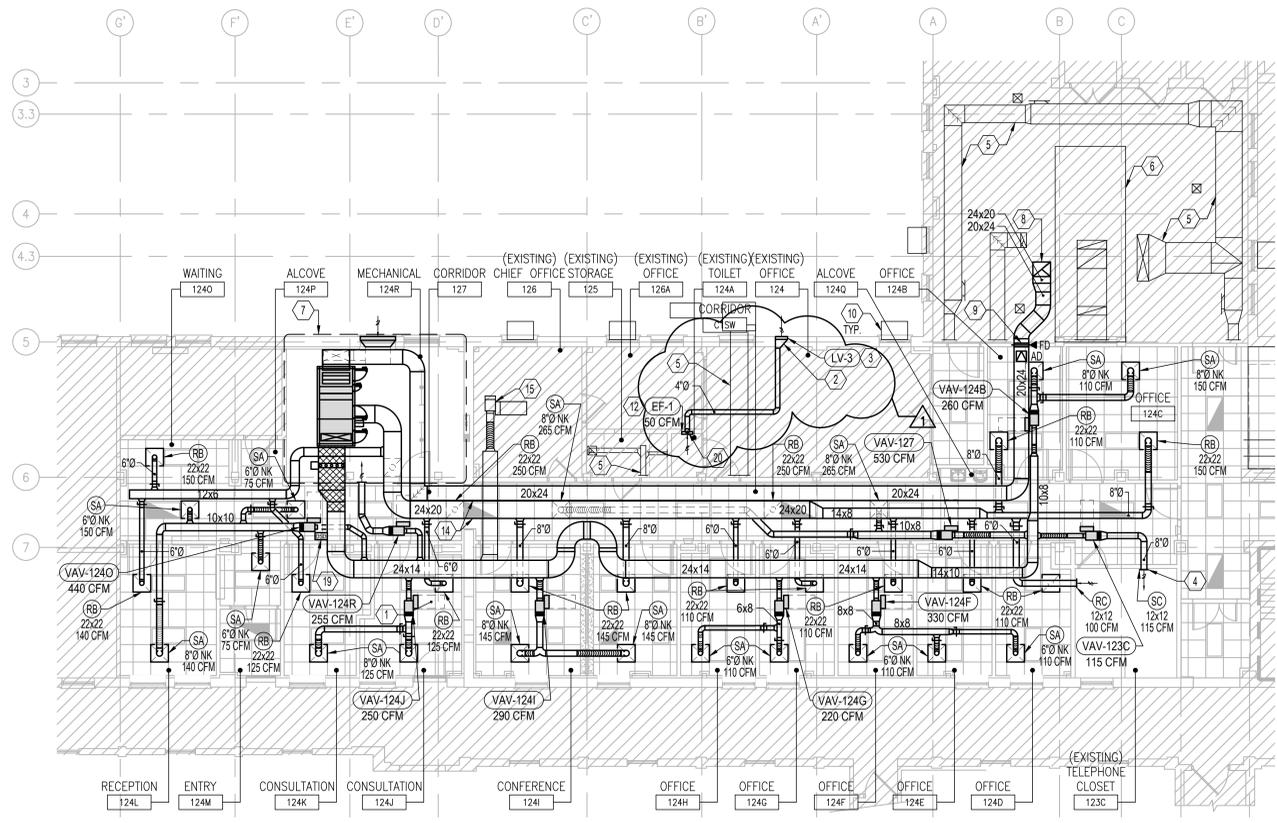
BULLETIN #1	06/07/2022
No	REVISION DATE

ARCHITECT/ENGINEER OF RECORD	
700 Nicholas Blvd, Suite 300 Elk Grove Village, IL 60007 T: 847.952.9362 www.bancroft-ae.com BAE PROJECT NO: 18-116	

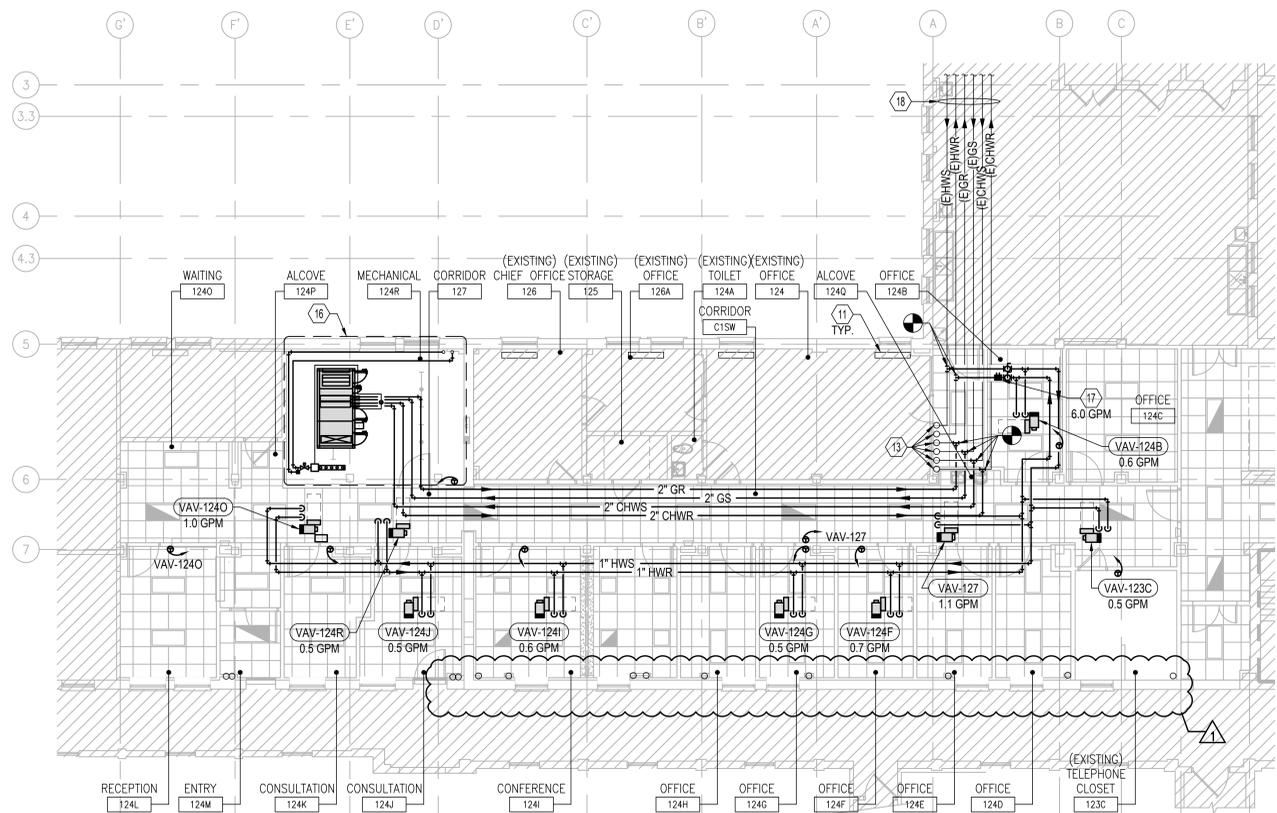
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APPROVED GEN'S PROJECT MANAGER	DATE:	APPROVED PATIENT SAFETY	DATE:	APPROVED CHIEF OF STAFF	DATE:
APPROVED PROJECTS SECTION MANAGER	DATE:	APPROVED CHIEF OF POLICE	DATE:	APPROVED HEALTH CARE SYSTEM DIRECTOR	DATE:
APPROVED DIRECTOR PMS	DATE:	APPROVED SAFETY MANAGER	DATE:		

DRAWING TITLE	PROJECT TITLE	DATE:
ARCHITECTURAL DEMOLITION FLOOR PLANS	EHRM TRAINING + ADMINISTRATIVE SUPPORT SPACE	06/27/2022
APPROVED ASSOCIATE HEALTH CARE SYSTEM DIRECTOR	PROJECT NO:	656-21-236
APPROVED CHIEF OF STAFF	BUILDING No:	4
APPROVED HEALTH CARE SYSTEM DIRECTOR	CHECKED BY:	DA
	DRAWN:	DTB
	DWG. NO.:	AD101
	LOCATION:	ST. CLOUD VAHCS ST. CLOUD, MN 56303

U.S. Department of Veterans Affairs
Veterans Health Administration
St. Cloud VA Health Care System



1 MECHANICAL - VENTILATION PLAN - FIRST FLOOR
 1/8"=1'-0"
 NORTH



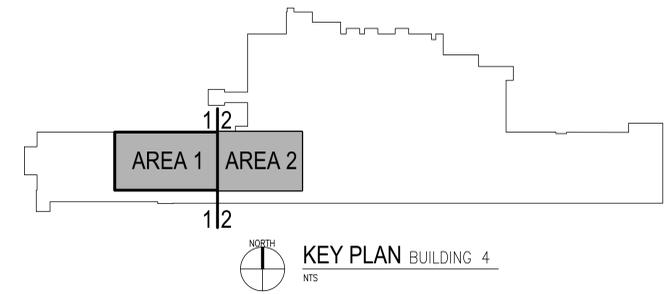
2 MECHANICAL - PIPING PLAN - FIRST FLOOR
 1/8"=1'-0"
 NORTH

MECHANICAL KEY NOTES

1. MAINTAIN MANUFACTURER'S RECOMMENDED CLEARANCES. (TYP.)
2. PROVIDE FULL SIZE SHEET METAL PLENUM BEHIND LOUVER.
3. COORDINATE LOUVER STYLE, FINISH, AND INSTALLATION WITH ARCHITECT.
4. COORDINATE LOCATION OF SIDE WALL GRILLE TO ACCOMMODATE EQUIPMENT, CONDUIT, WIRING, ETC. LOCATED WITHIN ROOM.
5. EXISTING DUCTWORK TO REMAIN.
6. EXISTING KITCHEN EXHAUST HOOD TO REMAIN.
7. SEE ENLARGED MECHANICAL ROOM VENTILATION PLAN ON SHEET M102 FOR MORE INFORMATION.
8. 24x20 EXHAUST DUCT UP. ROUTE DUCTWORK THROUGH EXISTING OPENING. MODIFY OPENINGS AS REQUIRED TO ACCOMMODATE NEW DUCT. SEE SHEET M102 FOR CONTINUATION.
9. INSTALL FIRE DAMPER TO MATCH WALL RATING.
10. EXISTING WINDOW AIR CONDITIONING UNIT TO REMAIN. PROTECT DURING CONSTRUCTION.
11. EXISTING RADIATOR TO REMAIN. PROTECT DURING CONSTRUCTION.
12. INSTALL SIDEWALL EXHAUST FAN ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
13. EXISTING 5" CHW, 2" GLYCOL HOT WATER, 1-1/2" HW PIPING TO REMAIN. PROTECT DURING CONSTRUCTION.
14. ROUTE MAIN DUCTWORK BRANCHES AS HIGH AS POSSIBLE.
15. FUTURE VAV BOX AND DUCTWORK TO BE INSTALLED IN FUTURE PROJECT.
16. SEE ENLARGED MECHANICAL ROOM PIPING PLAN ON SHEET M102 FOR MORE INFORMATION.
17. BALANCE TO FLOW RATE INDICATED.
18. EXISTING CHILLED WATER, HOT WATER, AND GLYCOL PIPES TO REMAIN. PROTECT DURING CONSTRUCTION.
19. DUCT SMOKE DETECTOR TO BE PROVIDED AND INSTALLED BY ELECTRICAL CONTRACTOR. SHOWN HERE FOR REFERENCE PURPOSES ONLY.
20. 4" Ø EXHAUST DUCT CONNECTED TO EF-1.

GENERAL NOTES

- A. CLEAN AND SEAL ALL EXISTING DUCTWORK THAT WILL BE REUSED.
- B. CONTRACTOR SHALL REPAIR AND/OR REPLACE ALL INSULATION AT EXISTING SHEET METAL DUCTWORK WHICH BECOMES DAMAGED DURING CONSTRUCTION ACTIVITIES.
- C. DURING CONSTRUCTION, PROVIDE TEMPORARY CLOSURES ON ALL SUPPLY AND RETURN AIR DUCT OPENINGS BY SEALING WITH A DISPOSABLE POLYETHYLENE SHEETING TO PREVENT CONSTRUCTION DUST FROM ENTERING DUCTWORK SYSTEM OR AIR TERMINAL UNITS.
- D. ANY DUCTWORK THAT IS EXISTING TO REMAIN, WHETHER OR NOT SHOWN ON THESE DRAWINGS, THAT IS CRUSHED OR DAMAGED IN ITS CURRENT CONDITION OR AS A RESULT OF CONSTRUCTION, SHALL BE REPLACED WITH NEW.
- E. ALL ABANDONED OPENINGS TO BE CLOSED. REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS.
- F. COORDINATE ALL MECHANICAL SERVICE OUTAGES WITH COR.
- G. CONTRACTOR IS RESPONSIBLE FOR ALL COST ASSOCIATED WITH CEILING SYSTEM DISASSEMBLY AND REASSEMBLY TO ACCOMMODATE WORK. CONTRACTOR TO SALVAGE, STORE, AND REINSTALL ALL CEILING MOUNTED DEVICES.
- H. CONTRACTOR IS RESPONSIBLE FOR ALL MODIFICATIONS TO THE EXISTING PIPING NECESSARY TO PERMIT THE INSTALLATION OF NEW WORK.
- I. PIPING MAY BE SHOWN OFFSET FROM ITS ACTUAL LOCATION FOR CLARITY. FIELD VERIFY EXACT LOCATIONS.
- J. COORDINATE CEILING MOUNTED GRILLS AND DIFFUSERS WITH SPRINKLER HEADS, LIGHTING FIXTURES AND ALL CEILING MOUNTED DEVICES. REFER TO ARCHITECTURAL CEILING GRID DRAWINGS FOR LOCATIONS.
- K. PROVIDE BALANCING DAMPER AT ALL BRANCH DUCTWORK SERVING DIFFUSER AND/OR GRILLE.
- L. ALL CONNECTIONS BETWEEN DISSIMILAR METALS SHALL BE MADE WITH DIELECTRIC UNIONS OR COUPLINGS.
- M. FIRESTOP ALL PIPE PENETRATIONS OF FIRE RATED WALLS. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS.
- N. ROUTE HYDRONIC AND STEAM PIPING AS HIGH AS POSSIBLE ABOVE DUCTWORK AND OTHER EQUIPMENT.
- O. CEILING ACCESS SHALL BE PROVIDED SUCH THAT EQUIPMENT SHALL BE READILY SERVICEABLE. FOR ALL HVAC EQUIPMENT AND COMPONENTS LOCATED ABOVE THE CEILING THAT REQUIRE OPERATING, CLEANING, SERVICING, MAINTENANCE, AND CALIBRATION. SUCH EQUIPMENT INCLUDES, BUT IS NOT LIMITED TO, VAV BOXES, AIR VALVES, CONTROL VALVES, STRAINERS, BALANCING DAMPERS, ETC.
- P. ALL BRANCH PIPING CONNECTING TO VAV BOXES, FAN COIL UNITS, AND HOT WATER HEATING EQUIPMENT SHALL BE 3/4" UNLESS NOTED OTHERWISE.
- Q. COORDINATE VAV CONTROL BOX, PIPING CONNECTIONS, VALVES, DAMPERS, ETC. TO BE ON SAME SIDE OF BOX AND ACCESSIBLE FROM OPENING A SINGLE CEILING TILE.



BULLETIN #1	06/07/2022
REVISION	DATE

ARCHITECT/ENGINEER OF RECORD

Bancroft

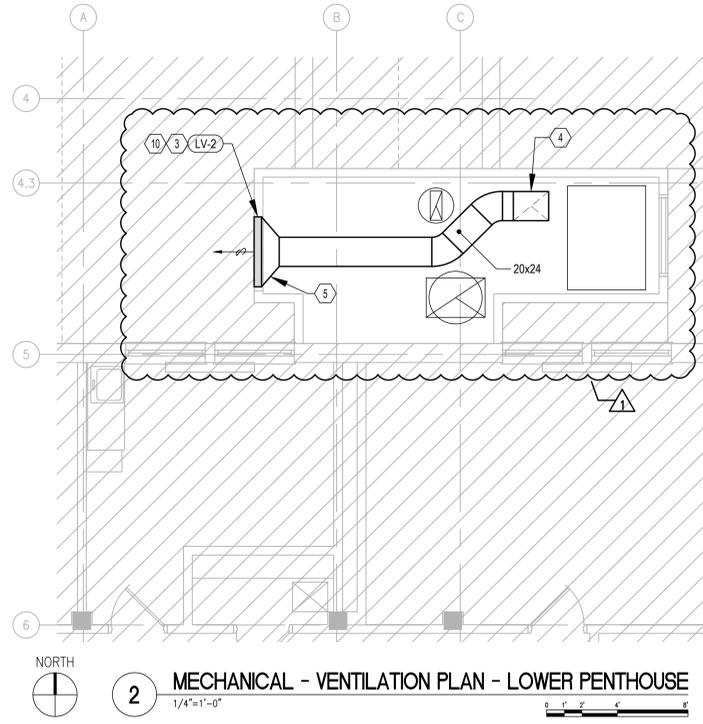
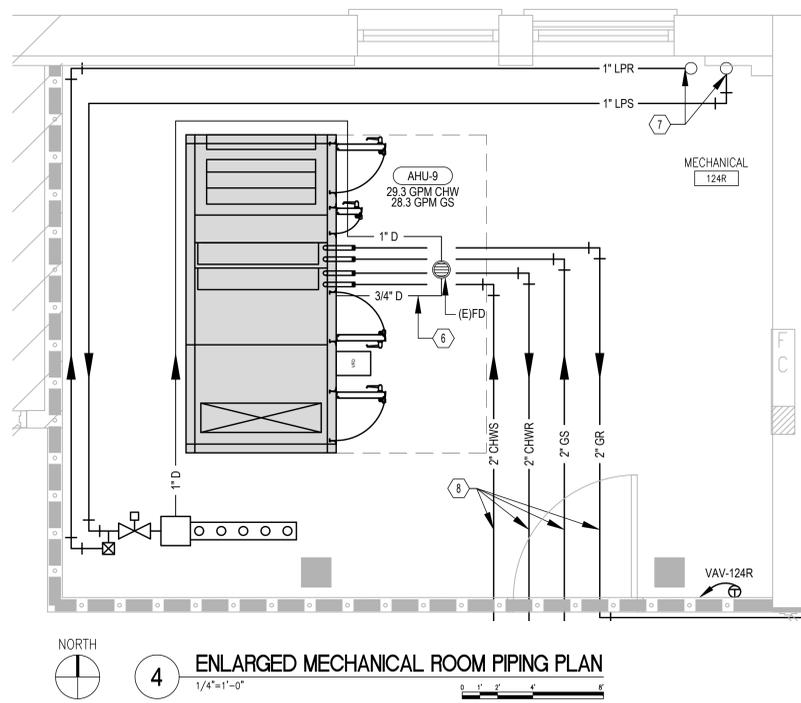
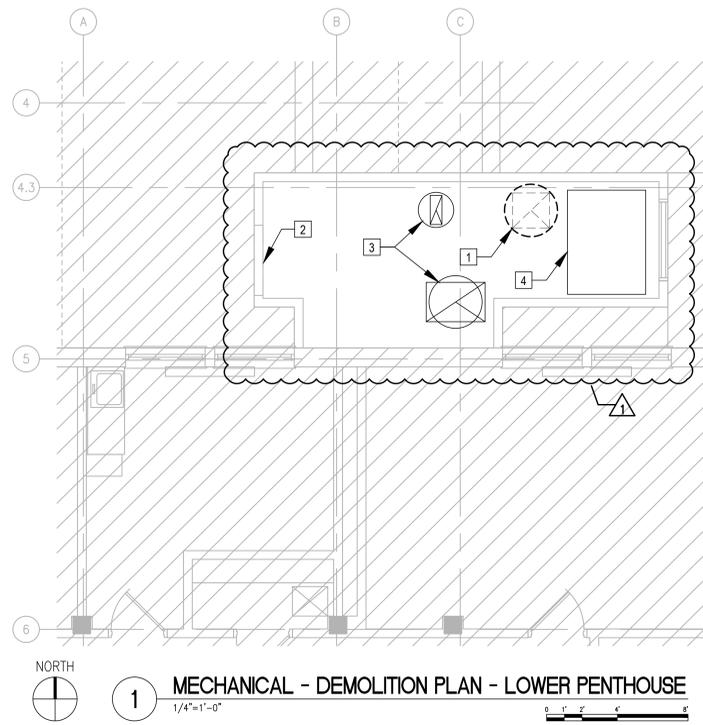
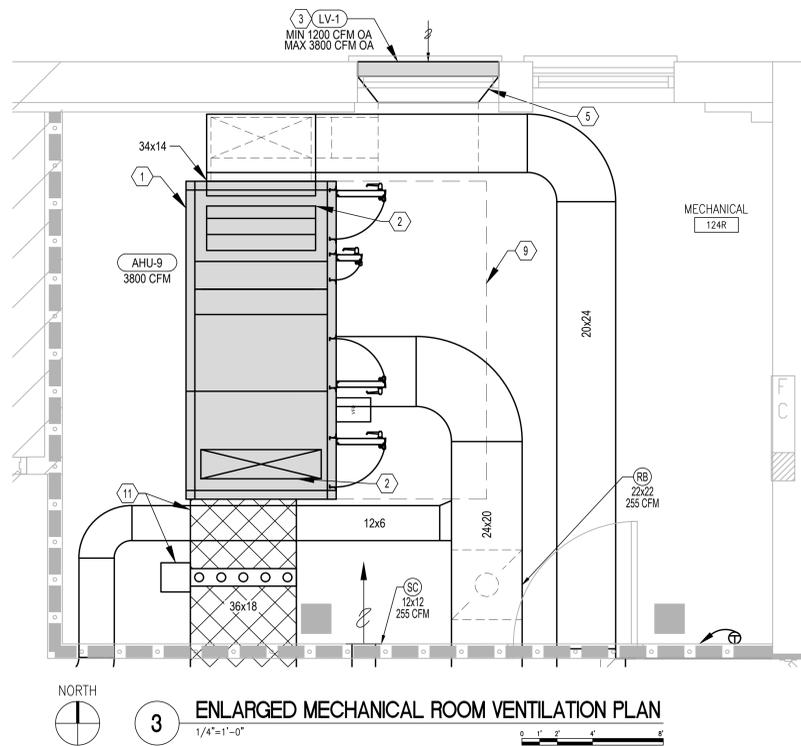
700 Nicholas Blvd, Suite 300
 Elk Grove Village, IL 60007
 T: 847.952.9362
 www.bancroft-ae.com
 BAE PROJECT NO. 18-116

APPROVED PROJECT GDR	DATE	APPROVED SERVICE LINE DIRECTOR	DATE	APPROVED INFECTION CONTROL NURSE	DATE
APPROVED GEN'S PROJECT MANAGER	DATE	APPROVED PATIENT SAFETY	DATE	APPROVED CHIEF OF POLICE	DATE
APPROVED PROJECTS SECTION MANAGER	DATE	APPROVED CHIEF OF POLICE	DATE	APPROVED SAFETY MANAGER	DATE
APPROVED DIRECTOR PMS	DATE	APPROVED SAFETY MANAGER	DATE		

DRAWING TITLE	MECHANICAL PLAN - FIRST FLOOR	DATE	06/27/2022
PROJECT TITLE	EHRM TRAINING + ADMINISTRATIVE SUPPORT SPACE	PROJECT NO.	656-21-236
APPROVED ASSOCIATE HEALTH CARE SYSTEM DIRECTOR	DATE	APPROVED CHIEF OF STAFF	DATE
APPROVED HEALTH CARE SYSTEM DIRECTOR	DATE	BUILDING NO.	4
		CHECKED BY	DG
		DRAWN	RR
		LOCATION	ST. CLOUD VAHCS ST. CLOUD, MN 56303
		DWG. OF	M101

VA

U.S. Department of Veterans Affairs
 Veterans Health Administration
 St. Cloud VA Health Care System



MECHANICAL DEMOLITION KEY NOTES

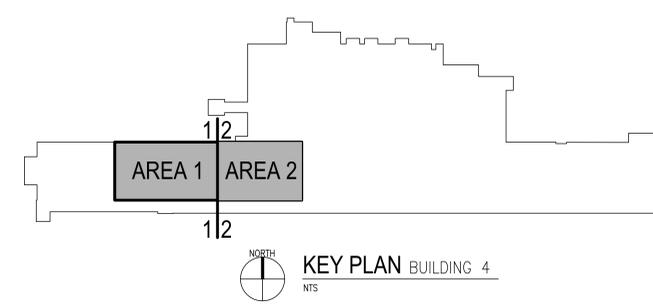
1. DEMOLISH AND REMOVE DUCTWORK RISER UP TO EXISTING EXHAUST FAN ON ROOF. CAP AND SEAL DUCTWORK AT FAN AND ABANDON EXHAUST FAN IN PLACE.
2. PREPARE WALL FOR NEW LOUVER OPENING.
3. ABANDON VERTICAL EXHAUST DUCTWORK RISER AND EXHAUST FAN ON ROOF. CAP AND SEAL DUCTWORK IN FIRST FLOOR CEILING BELOW.
4. EXISTING AIR HANDLING EQUIPMENT. PROTECT DURING CONSTRUCTION.

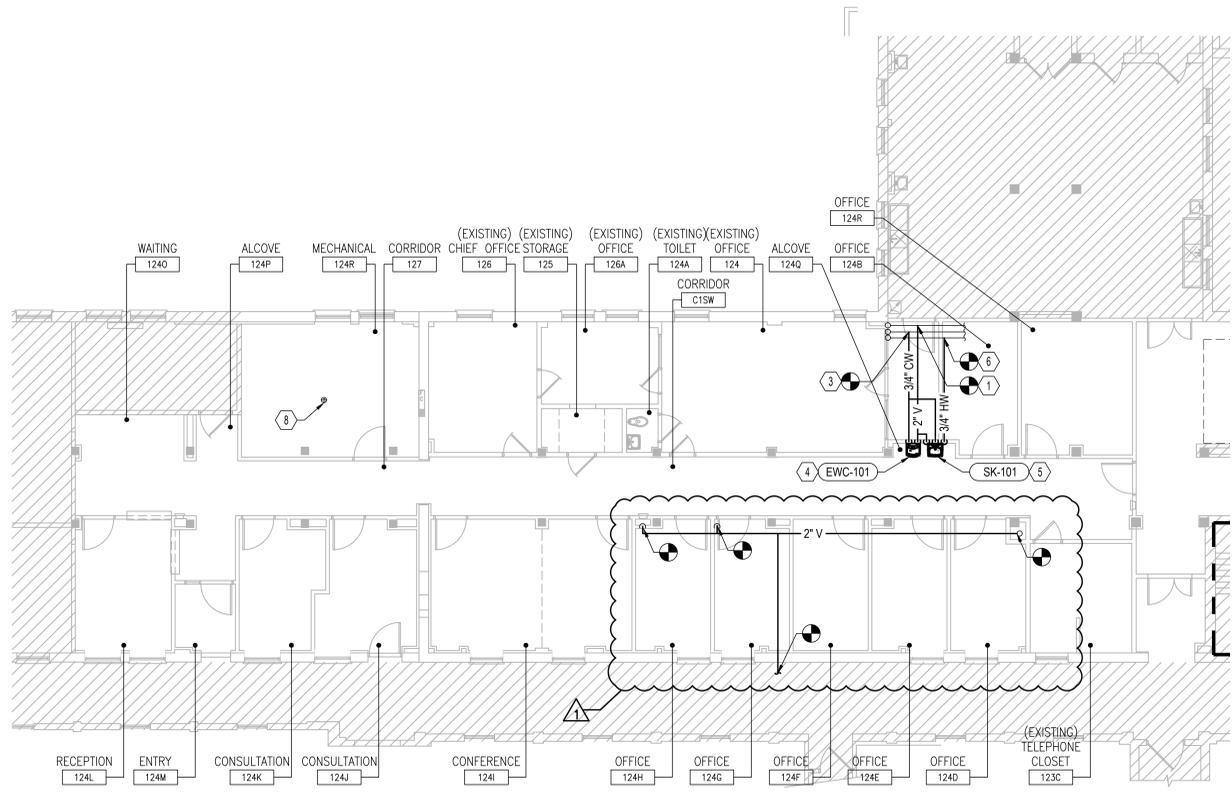
MECHANICAL KEY NOTES

1. 6" TALL BASE RAILS PROVIDED BY MANUFACTURER.
2. MAKE FULL SIZE DUCT CONNECTION TO AHU.
3. COORDINATE LOUVER STYLE, FINISH, AND INSTALLATION WITH ARCHITECT.
4. 24x24 EXHAUST DUCTWORK DOWN TO FLOOR BELOW. PROVIDE FIRE DAMPER IN FLOOR WHERE IT PASSES THROUGH FIRE RATED STRUCTURE. FIRE DAMPER INSTALLED SHALL MATCH RATING OF STRUCTURE BEING PENETRATED. SEE SHEET M101 FOR CONTINUATION.
5. PROVIDE FULL SIZE SHEET METAL PLENUM BEHIND LOUVER.
6. 3/4" CONDENSATE DRAIN TO SPILL TO NEAREST FLOOR DRAIN.
7. MAKE NEW CONNECTION TO EXISTING LPS AND LPR RISERS AT THIS LOCATION.
8. PIPING SHOWN DIAGMATICALLY. ROUTE PIPING CLOSE TO CEILING AND DROP NEAR AHU TO MAKE COIL CONNECTIONS. DO NOT OBSTRUCT DOORWAY WITH ANY PIPING OR DUCTWORK.
9. MAINTAIN ALL ACCESS CLEARANCE REQUIREMENTS AS RECOMMENDED BY AHU MANUFACTURER.
10. UTILIZE EXISTING WALL OPENING FOR NEW LOUVER. MODIFY OPENING AS REQUIRED TO ACCOMMODATE NEW LOUVER.
11. PROVIDE DUCT MOUNTED STEAM HUMIDIFIER. INSTALL STAINLESS STEEL DUCTWORK AS SHOWN HATCHED.

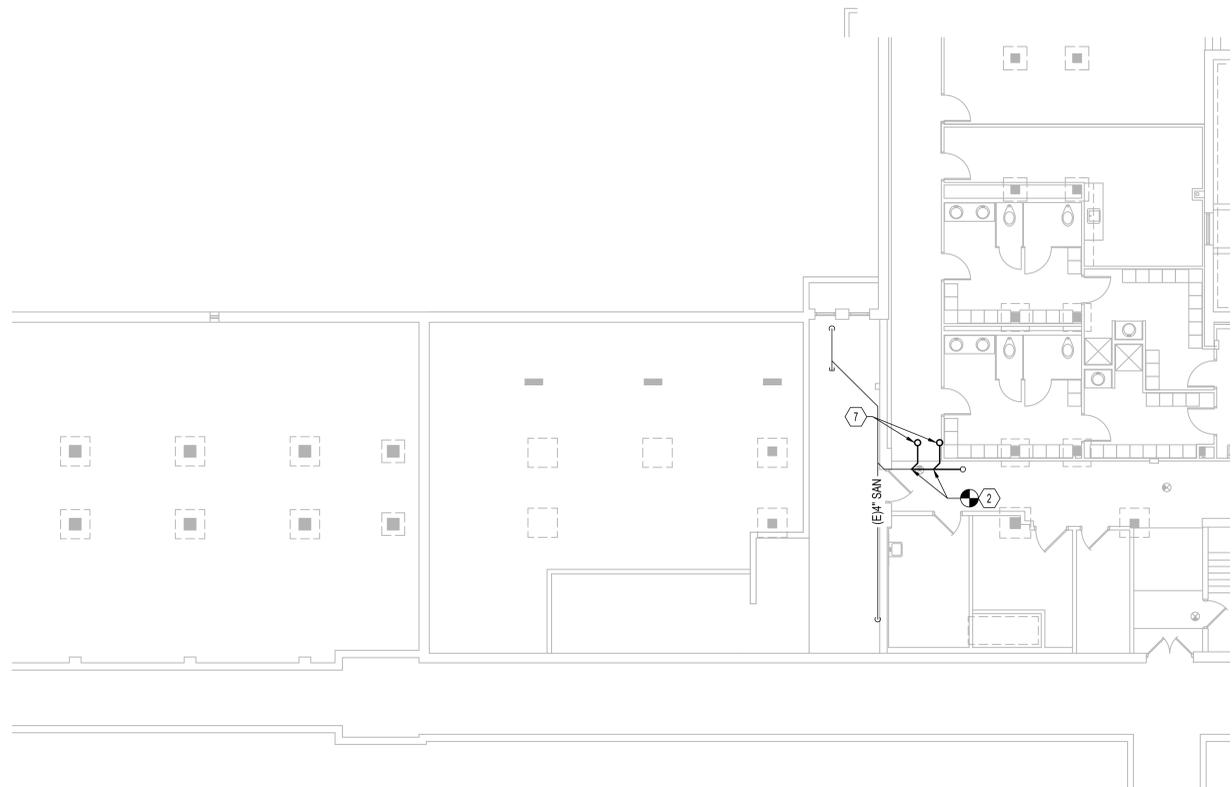
GENERAL NOTES

- A. CLEAN AND SEAL ALL EXISTING DUCTWORK THAT WILL BE REUSED.
- B. CONTRACTOR SHALL REPAIR AND/OR REPLACE ALL INSULATION AT EXISTING SHEET METAL DUCTWORK WHICH BECOMES DAMAGED DURING CONSTRUCTION ACTIVITIES.
- C. DURING CONSTRUCTION, PROVIDE TEMPORARY CLOSURES ON ALL SUPPLY AND RETURN AIR DUCT OPENINGS BY SEALING WITH A DISPOSABLE POLYETHYLENE SHEETING TO PREVENT CONSTRUCTION DUST FROM ENTERING DUCTWORK SYSTEM OR AIR TERMINAL UNITS.
- D. ANY DUCTWORK THAT IS EXISTING TO REMAIN, WHETHER OR NOT SHOWN ON THESE DRAWINGS, THAT IS CRUSHED OR DAMAGED IN ITS CURRENT CONDITION OR AS A RESULT OF CONSTRUCTION, SHALL BE REPLACED WITH NEW.
- E. ALL ABANDONED OPENINGS TO BE CLOSED, REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS.
- F. REMOVE ALL ASSOCIATED CLAMPS, HANGERS, SUPPORTS, ETC., ASSOCIATED WITH PIPING REMOVAL.
- G. COORDINATE ALL MECHANICAL SERVICE OUTAGES WITH COR.
- H. CONTRACTOR IS RESPONSIBLE FOR ALL COST ASSOCIATED WITH CEILING SYSTEM DISASSEMBLY AND REASSEMBLY TO ACCOMMODATE WORK. CONTRACTOR TO SALVAGE, STORE, AND REINSTALL ALL CEILING MOUNTED DEVICES.
- I. CONTRACTOR IS RESPONSIBLE FOR ALL MODIFICATIONS TO THE EXISTING PIPING NECESSARY TO PERMIT THE INSTALLATION OF NEW WORK.
- J. PIPING MAY BE SHOWN OFFSET FROM ITS ACTUAL LOCATION FOR CLARITY. FIELD VERIFY EXACT LOCATIONS.
- K. COORDINATE CEILING MOUNTED GRILLS AND DIFFUSERS WITH SPRINKLER HEADS, LIGHTING FIXTURES AND ALL CEILING MOUNTED DEVICES. REFER TO ARCHITECTURAL CEILING GRID DRAWINGS FOR LOCATIONS.
- L. CEILING ACCESS SHALL BE PROVIDED FOR ALL HVAC EQUIPMENT AND COMPONENTS LOCATED ABOVE THE CEILING THAT REQUIRE OPERATING, CLEANING, SERVICING, MAINTENANCE, AND CALIBRATION.
- M. PROVIDE BALANCING DAMPER AT ALL BRANCH DUCTWORK SERVING DIFFUSER AND/OR GRILLE.
- N. ALL CONNECTIONS BETWEEN DISSIMILAR METALS SHALL BE MADE WITH DIELECTRIC UNIONS OR COUPLINGS.
- O. FIRESTOP ALL PIPE PENETRATIONS OF FIRE RATED WALLS. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS.
- P. ROUTE HYDRONIC AND STEAM PIPING AS HIGH AS POSSIBLE ABOVE DUCTWORK AND OTHER EQUIPMENT.
- Q. CEILING ACCESS SHALL BE PROVIDED SUCH THAT EQUIPMENT SHALL BE READILY SERVICEABLE. FOR ALL HVAC EQUIPMENT AND COMPONENTS LOCATED ABOVE THE CEILING THAT REQUIRE OPERATING, CLEANING, SERVICING, MAINTENANCE, AND CALIBRATION. SUCH EQUIPMENT INCLUDES, BUT IS NOT LIMITED TO, VAV BOXES, AIR VALVES, CONTROL VALVES, STRAINERS, BALANCING DAMPERS, ETC.
- R. ALL BRANCH PIPING CONNECTING TO VAV BOXES, FAN COIL UNITS, AND HOT WATER HEATING EQUIPMENT SHALL BE 3/4" UNLESS NOTED OTHERWISE.





NORTH
1 PLUMBING - DOMESTIC, SANITARY + VENT PLAN - FIRST FLOOR
 1/8"=1'-0"



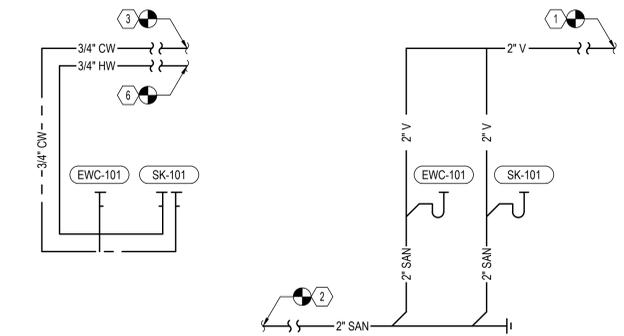
NORTH
2 PLUMBING - DOMESTIC, SANITARY + VENT PLAN - BASEMENT
 1/8"=1'-0"

PLUMBING KEY NOTES

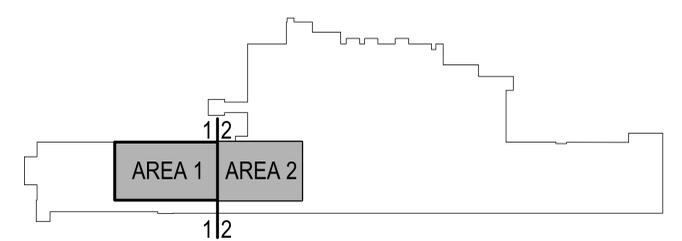
1. CONNECT 2" VENT TO EXISTING 2" VENT HEADER IN 1ST FLOOR CEILING.
2. CONNECT 2" WASTE PIPE TO EXISTING 4" SANITARY BUILDING DRAIN IN BASEMENT CEILING.
3. CONNECT 3/4" COLD WATER TO EXISTING 3/4" DOMESTIC COLD WATER IN 1ST FLOOR CEILING. PROVIDE SHUT OFF VALVE AT POINT OF CONNECTION.
4. PROVIDE AND INSTALL NEW ELECTRIC WATER COOLER WITH BOTTLE FILLER.
5. PROVIDE AND INSTALL NEW HAND WASHING SINK.
6. CONNECT 3/4" HOT WATER TO EXISTING 3/4" DOMESTIC HOT WATER IN 1ST FLOOR CEILING. PROVIDE SHUT OFF VALVE AT POINT OF CONNECTION.
7. 2" SAN UP TO NEW FIXTURES ABOVE. REFER TO ARCHITECTURAL DRAWINGS FOR CORING NOTES.
8. EXISTING FLOOR DRAIN TO REMAIN.

GENERAL NOTES

- A. CONTRACTOR TO COORDINATE WITH VA COR FOR ALL PLUMBING SERVICE OUTAGES.
- B. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO FINISHES OR COMPONENTS NOT SCHEDULED FOR DEMOLITION. DAMAGED ITEMS SHALL BE REPLACED OR REPAIRED TO MEET OR EXCEED FORMER CONDITIONS.
- C. GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF CEILING, CEILING TILES, AND CEILING GRIDS ASSOCIATED WITH AREAS OF WORK BY ALL CONTRACTORS.
- D. EXISTING CONDITIONS ARE SHOWN BASED ON INFORMATION OBTAINED FROM FIELD SURVEYS, EXISTING BUILDING DOCUMENTS, AND STAFF. VERIFY EXISTING CONDITIONS AND REPORT ANY CONFLICTS BEFORE PROCEEDING.
- E. AREA OF WORK WHERE EXISTING CEILINGS ARE TO BE REMOVED AND NEW FINISH CEILING TO BE INSTALLED, ALL EXISTING MOUNTED ITEMS SHALL BE REMOVED, STORED AND REINSTALLED IN SAME LOCATION.
- F. PROVIDE TEMPORARY CONNECTIONS TO MAINTAIN SERVICE TO SECOND FLOOR FIXTURES DURING CONSTRUCTION.
- G. ABANDONED AND/OR DEAD LEG PIPING WILL NOT BE ALLOWED AND SHALL BE REMOVED EVEN IF NOT SHOWN ON DRAWINGS.
- H. ALL PENETRATIONS SHALL BE SEALED WITH FIRE PROOFING.
- I. CONTRACTOR IS RESPONSIBLE FOR ALL COST ASSOCIATED WITH CEILING DISASSEMBLY AND REASSEMBLY TO ACCOMMODATE THIS WORK. CONTRACTOR TO SALVAGE, STORE, AND REINSTALL ALL CEILING MOUNTED DEVICES.
- J. REMOVE ALL ASSOCIATED CLAMPS, HANGERS, SUPPORTS, ETC., ASSOCIATED WITH PIPING REMOVAL.
- K. CONTRACTOR IS RESPONSIBLE FOR ALL MODIFICATIONS TO THE EXISTING PIPING NECESSARY TO PERMIT THE INSTALLATION OF NEW WORK.
- L. PATCH AND FILL CONCRETE SLAB WHERE PIPING HAS BEEN REMOVED.
- M. COORDINATE CONCRETE FLOOR SLAB REMOVAL AND REPLACEMENT WORK WITH ARCHITECTURAL AND STRUCTURAL REQUIREMENTS. NEW CONCRETE FLOOR SLAB WORK SHALL BE PERFORMED AS EARLY AS POSSIBLE IN THE PROJECT SCHEDULE TO ALLOW FOR THE PROPER CURING TIME REQUIRED TO RECEIVE THE NEW FLOOR FINISHES.
- N. CONTRACTOR TO PROVIDE "FREEZE SHUT DOWN". ANY PIPING THAT CANNOT BE VALVED OFF MUST BE "FROZE".
- O. ALL DOMESTIC PIPING BEING DEMOLISHED TO MAIN SHALL BE CAPPED AT 1.5X THE DIAMETER OF BRANCH PIPING. NO DEAD END OR STUBS ARE ALLOWED IN DOMESTIC WATER PIPING. ALL DEAD END PIPING MUST BE CAPPED.



NORTH
3 PLUMBING - DOMESTIC WATER, SANITARY + VENT RISER DIAGRAMS
 1/8"=1'-0"



NORTH
KEY PLAN BUILDING 4
 NTS

BULLETIN #1 No. REVISION DATE	06/07/2022 DATE	Architect/Engineer of Record BANCROFT ARCHITECTS + ENGINEERS 700 Nicholas Blvd, Suite 300 Elk Grove Village, IL 60007 T: 847.952.9362 www.bancroft-ae.com BAE PROJECT NO. 18-116	APPROVED PROJECT GDR DATE:	APPROVED SERVICE LINE DIRECTOR DATE:	APPROVED INFECTION CONTROL NURSE DATE:	DRAWING TITLE PLUMBING - DOMESTIC, SANITARY + VENT PLAN	PROJECT TITLE EHRM TRAINING + ADMINISTRATIVE SUPPORT SPACE	DATE: 06/27/2022 PLOT SCALE:
			APPROVED ASSOCIATE HEALTH CARE SYSTEM DIRECTOR DATE:	APPROVED GEN'S PROJECT MANAGER DATE:	APPROVED PATIENT SAFETY DATE:	APPROVED ASSOCIATE HEALTH CARE SYSTEM DIRECTOR DATE:	APPROVED CHIEF OF STAFF DATE:	BUILDING No. 4 CHECKED BY JK DRAWN RR PROJECT NO. 656-21-236 DRAWING NO. P101

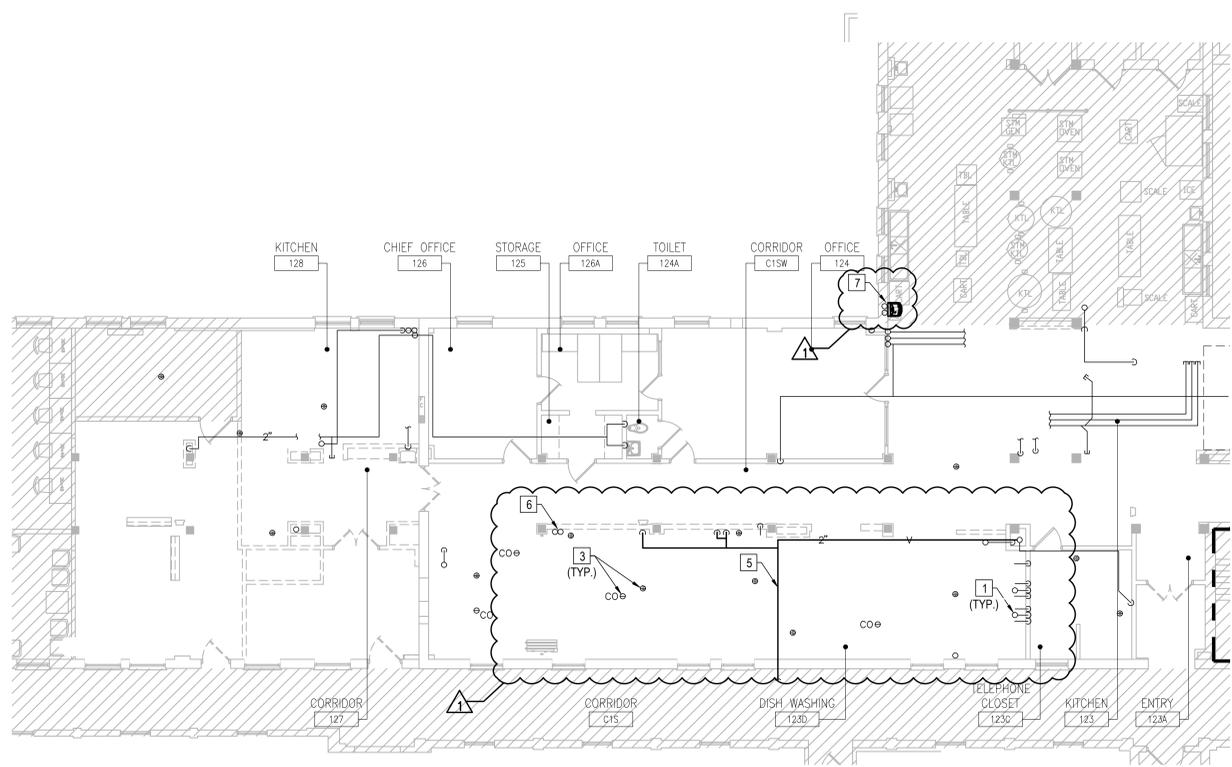


PLUMBING DEMOLITION KEY NOTES

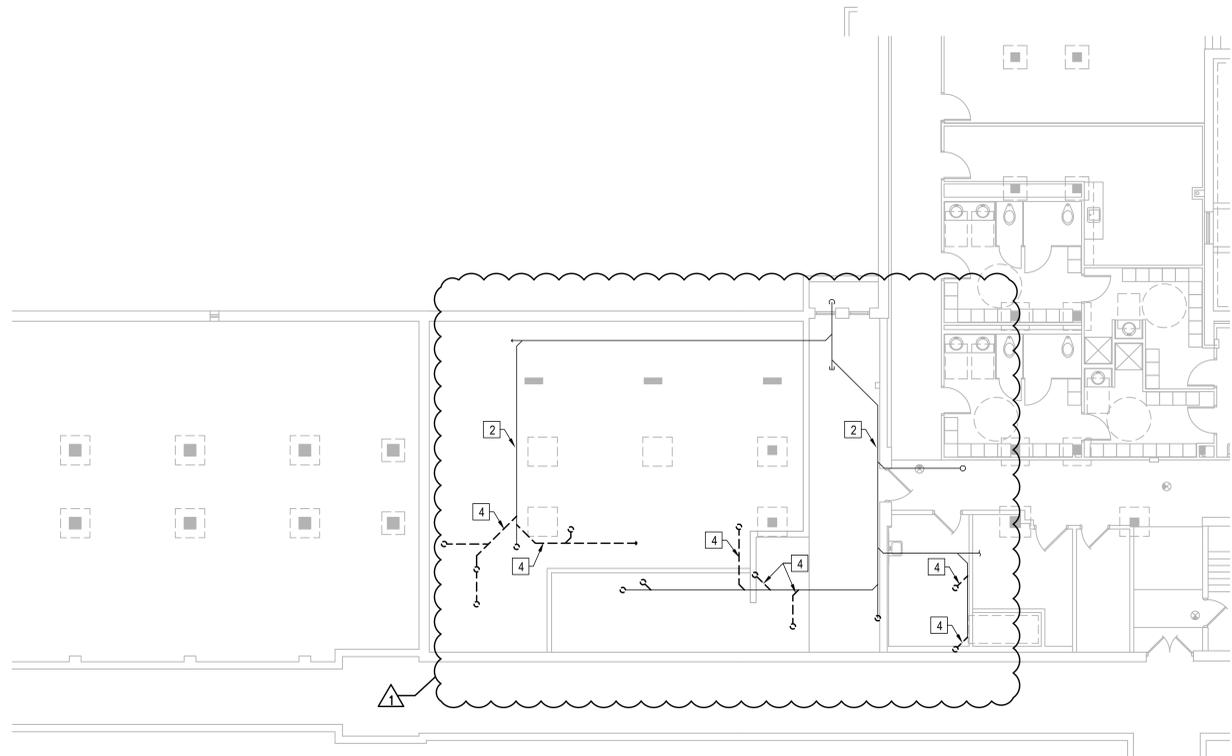
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- 4. REMOVE SANITARY PIPING BACK TO MAIN. CAP AND SEAL.
- 5. REWORK EXISTING VENT PIPING TO ACCOMMODATE NEW CONSTRUCTION PLAN. RAISE VENT PIPING ABOVE CEILING. ROUTE NEAR WALL.
- 6. DEMOLISH ABANDONED HOT AND COLD WATER PIPING DOWN TO FLOOR. CAP PIPING IN FLOOR. PATCH AND SEAL WALL TO NEW CONSTRUCTION SPECIFICATIONS.
- 7. DEMOLISH AND REMOVE WATER FOUNTAIN. REMOVE DOMESTIC WATER SUPPLY PIPING BACK TO MAIN. CAP AND SEAL PIPING.

GENERAL NOTES

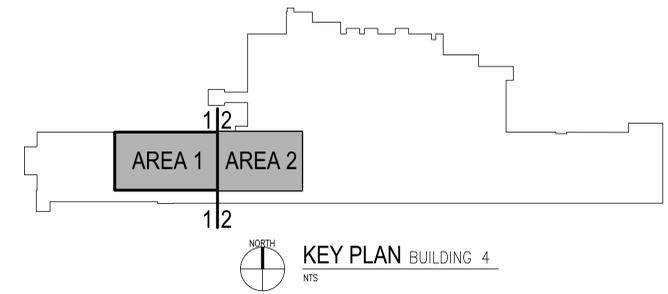
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1 PLUMBING - DEMOLITION PLAN - FIRST FLOOR
1/8"=1'-0"



2 PLUMBING - DEMOLITION PLAN - BASEMENT
1/8"=1'-0"



BULLETIN #1 No. REVISION DATE	06/07/2022 DATE	ARCHITECT/ENGINEER OF RECORD Bancroft BANCROFT ARCHITECTS + ENGINEERS 700 Nicholas Blvd, Suite 300 Elk Grove Village, IL 60007 T: 847.952.9362 www.bancroft-ae.com BAE PROJECT NO. 18-116	APPROVED PROJECT GOR DATE:	APPROVED SERVICE LINE DIRECTOR DATE:	APPROVED INFECTION CONTROL NURSE DATE:	DRAWING TITLE PLUMBING - DEMOLITION PLAN - FIRST FLOOR	PROJECT TITLE EHRM TRAINING + ADMINISTRATIVE SUPPORT SPACE	DATE: 06/27/2022 PLOT SCALE:
			APPROVED GEN'S PROJECT MANAGER DATE:	APPROVED PATIENT SAFETY DATE:	APPROVED ASSOCIATE HEALTH CARE SYSTEM DIRECTOR DATE:	BUILDING No. 4 CHECKED BY JK DRAWN RR DWG. NO. PD101	PROJECT NO. 656-21-236	
			APPROVED PROJECTS SECTION MANAGER DATE:	APPROVED CHIEF OF POLICE DATE:	APPROVED CHIEF OF STAFF DATE:	LOCATION: ST. CLOUD VAHCS ST. CLOUD, MN 56303	DIV. OF	U.S. Department of Veterans Affairs Veterans Health Administration St. Cloud VA Health Care System

ST. CLOUD VA HEALTH CARE SYSTEM
ST. CLOUD, MN.
PROJECT NAME: EHRM Training & Admin Support
VA PROJECT NO: 656-21-236
BAE NO: 18-116

CONSTRUCTION BULLETIN NO. 003

ISSUE DATE: 12/5/2022 1:28 PM

TITLE: Reference RFI 14 ASI

This Construction Bulletin consists of:

Narrative - (1) Page(s)

1. Drawings – (2) drawings were MODIFIED
- 2.

The following instructions herein and the listed documents below are hereby modified to be incorporated as part of the contract documents.

CHANGES TO DRAWINGS (see attached full size sheets):

1. PD101
 - a. Included piping discovered as unforeseen conditions in the field and referenced in RFI-14. Instructions for handling pipe noted on drawings.
2. MD101
 - a. Included piping discovered as unforeseen conditions in the field and referenced in RFI-14. Instructions for handling pipe noted on drawings.

END OF CONSTRUCTION BULLETIN NO. 003



TRANSMITTAL

November 23, 2022

To:

St Cloud - VA Health Care System
Facilities Management – Projects
BLDG 3 RM 205
4801 Veterans Drive,
St. Cloud, MN 56303

Project:

EHRM Training Admin Space
VA Contract No. 36C26319D0022
VA Project No. 656-21-236
Bancroft-AE Project No. 18-116

Transmittal: Construction Bulletin No. 003

We Transmit:

- Attached
- Under Separate Cover
- Via US Mail
- Via FedEx

For Your:

- Approval
- Review/Comment
- Use
- Record/File

Action Required:

Date Received: _____
Received By: _____

Contents:

Construction Bulletin No. 003

- A. Narrative
- B. Modified Drawings (.pdf form)

Action Required:

Sincerely,

Darlene Flook

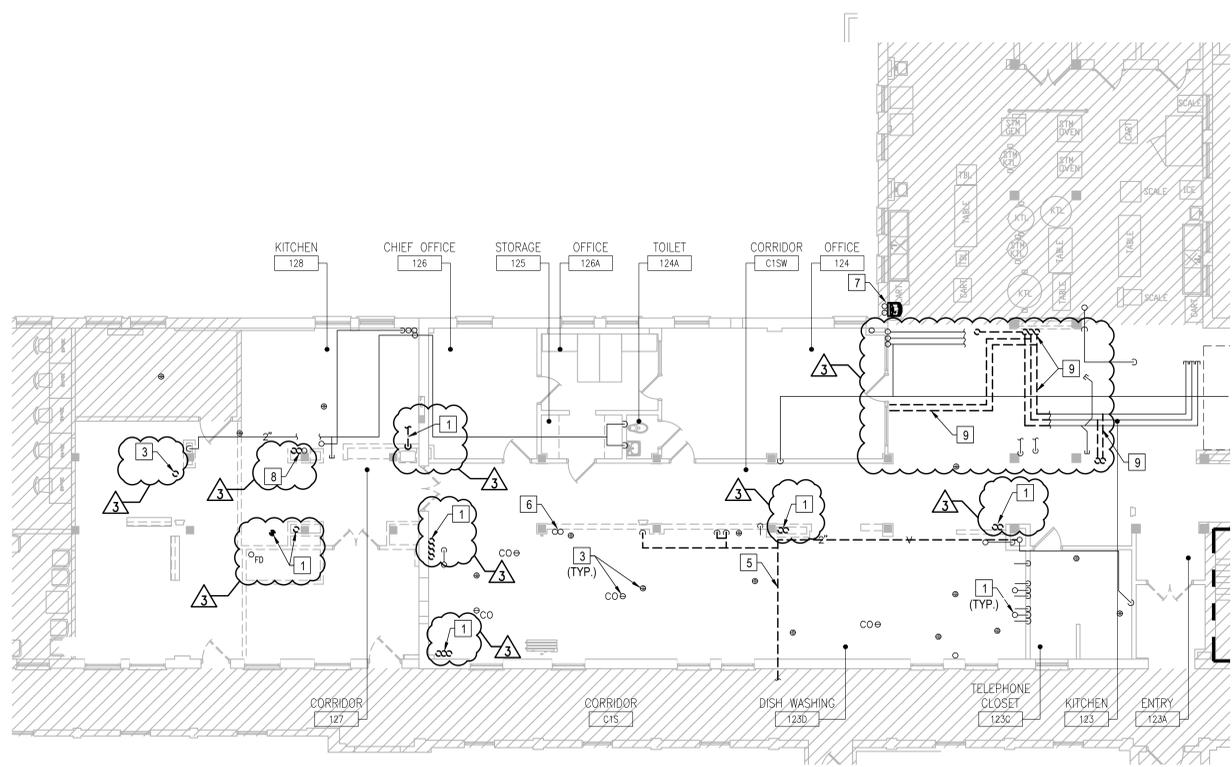
Project Manager
Bancroft Architects + Engineers

PLUMBING DEMOLITION KEY NOTES

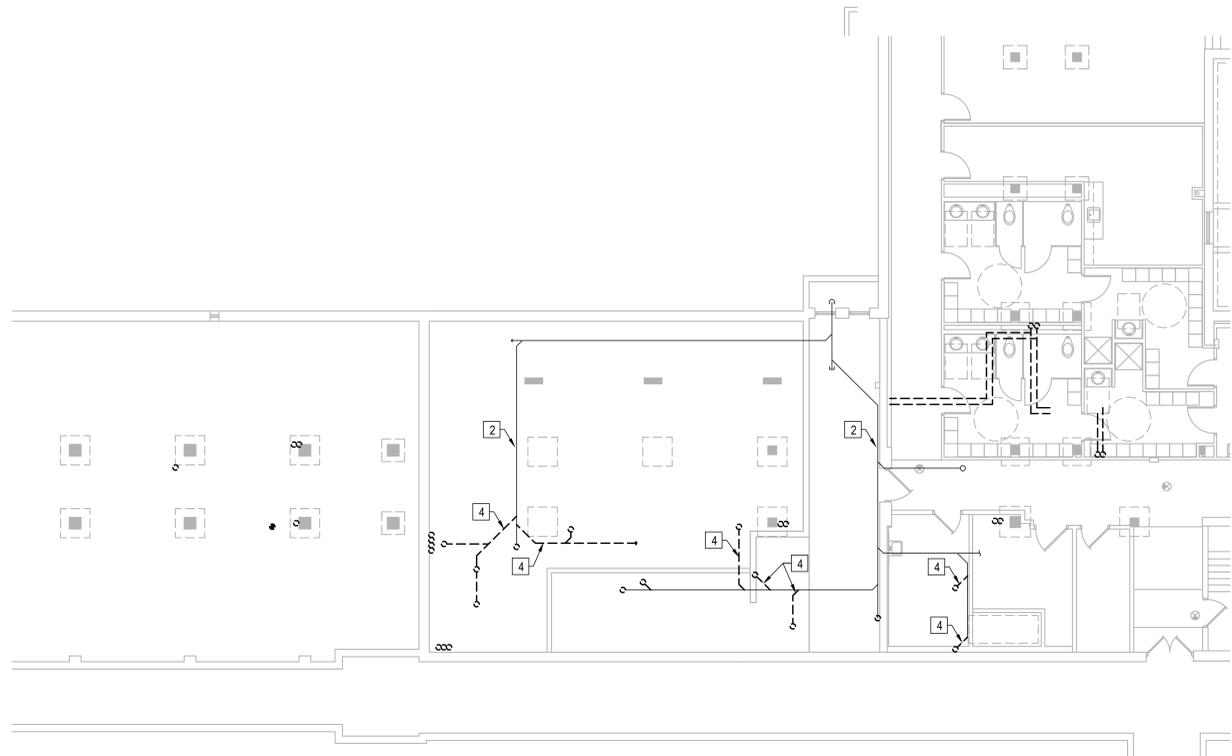
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4. REMOVE SANITARY PIPING BACK TO MAIN. CAP AND SEAL.
5. DEMOLISH AND REMOVE VENT PIPING. CAP AND SEAL AT END OF CONSTRUCTION AREA OF WORK. DEMOLISH ALL ASSOCIATED DROPS AND BRANCHES.
6. DEMOLISH ABANDONED HOT AND COLD WATER PIPING BACK TO WALL. CAP PIPING IN WALL. PATCH AND SEAL WALL TO NEW CONSTRUCTION SPECIFICATIONS.
7. DEMOLISH AND REMOVE WATER FOUNTAIN. REMOVE DOMESTIC WATER SUPPLY PIPING BACK TO MAIN. CAP AND SEAL PIPING.
8. DEMOLISH AND REMOVE 2" AND 1-1/2" GALVANIZED PIPING. PROTECT SANITARY PIPING DURING CONSTRUCTION.
9. DEMOLISH AND REMOVE ALL PIPING SHOWN DASHED. ABATE ASBESTOS CONTAINING MATERIALS. CAP AND SEAL PIPING AT FLOOR AND CEILING LEVEL.

GENERAL NOTES

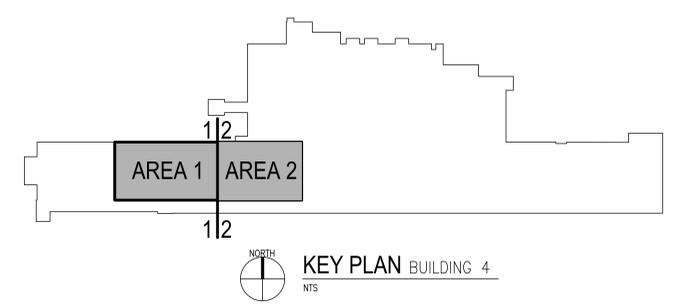
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1 PLUMBING - DEMOLITION PLAN - FIRST FLOOR
1/8"=1'-0"



2 PLUMBING - DEMOLITION PLAN - BASEMENT
1/8"=1'-0"



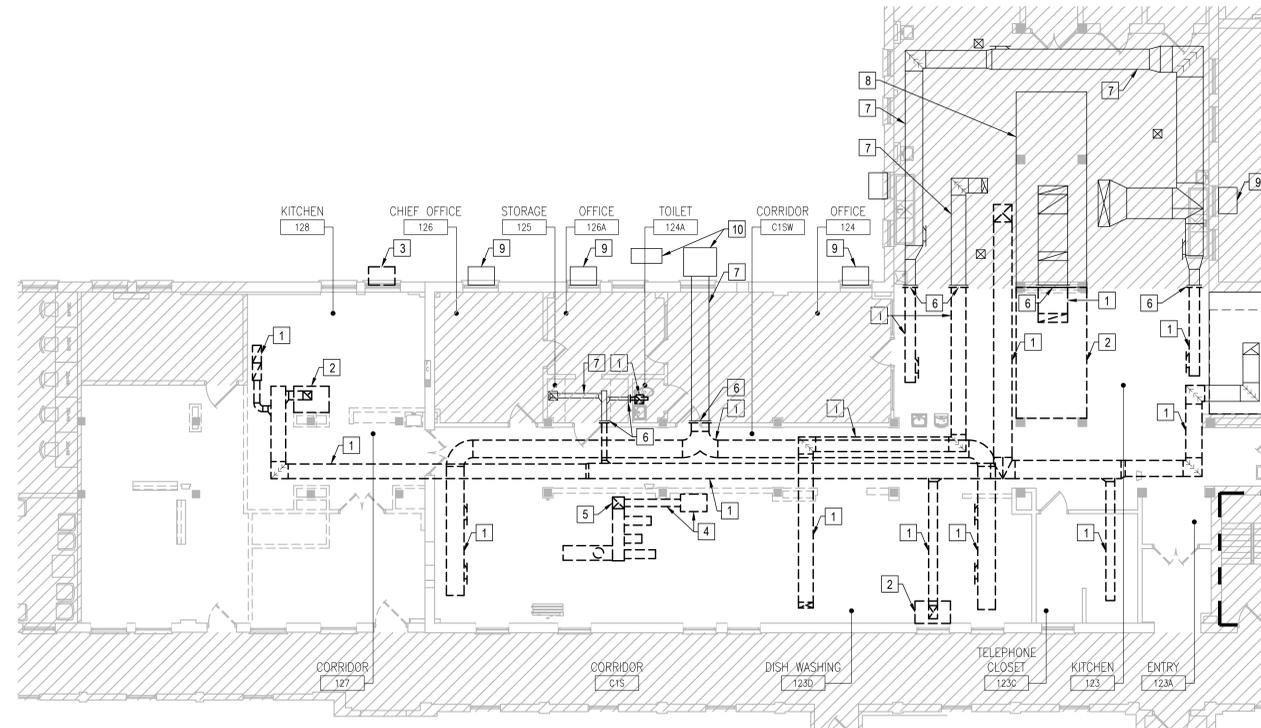
		ARCHITECT/ENGINEER OF RECORD 700 Nicholas Blvd, Suite 300 Elk Grove Village, IL 60007 T: 847.952.9362 www.bancroft-ae.com BAE PROJECT NO. 18-116	APPROVED PROJECT COR: _____ DATE: _____ APPROVED SERVICE LINE DIRECTOR: _____ DATE: _____ APPROVED GEN'S PROJECT MANAGER: _____ DATE: _____ APPROVED PROJECTS SECTION MANAGER: _____ DATE: _____ APPROVED DIRECTOR PMS: _____ DATE: _____	APPROVED INFECTION CONTROL NURSE: _____ DATE: _____ APPROVED PATIENT SAFETY: _____ DATE: _____ APPROVED CHIEF OF POLICE: _____ DATE: _____ APPROVED SAFETY MANAGER: _____ DATE: _____	DRAWING TITLE: PLUMBING - DEMOLITION PLAN - FIRST FLOOR PROJECT TITLE: EHRM TRAINING + ADMINISTRATIVE SUPPORT SPACE BUILDING NO: 4 CHECKED BY: JK DRAWN BY: RR DATE: 06/27/2022 PLOT SCALE: PROJECT NO: 656-21-236 DRAWING NO: PD101 LOCATION: ST. CLOUD VAHCS ST. CLOUD, MN 56303	
BULLETIN #1 No. _____ REVISION _____ DATE: 06/07/2022						U.S. Department of Veterans Affairs Veterans Health Administration St. Cloud VA Health Care System

MECHANICAL DEMOLITION KEY NOTES

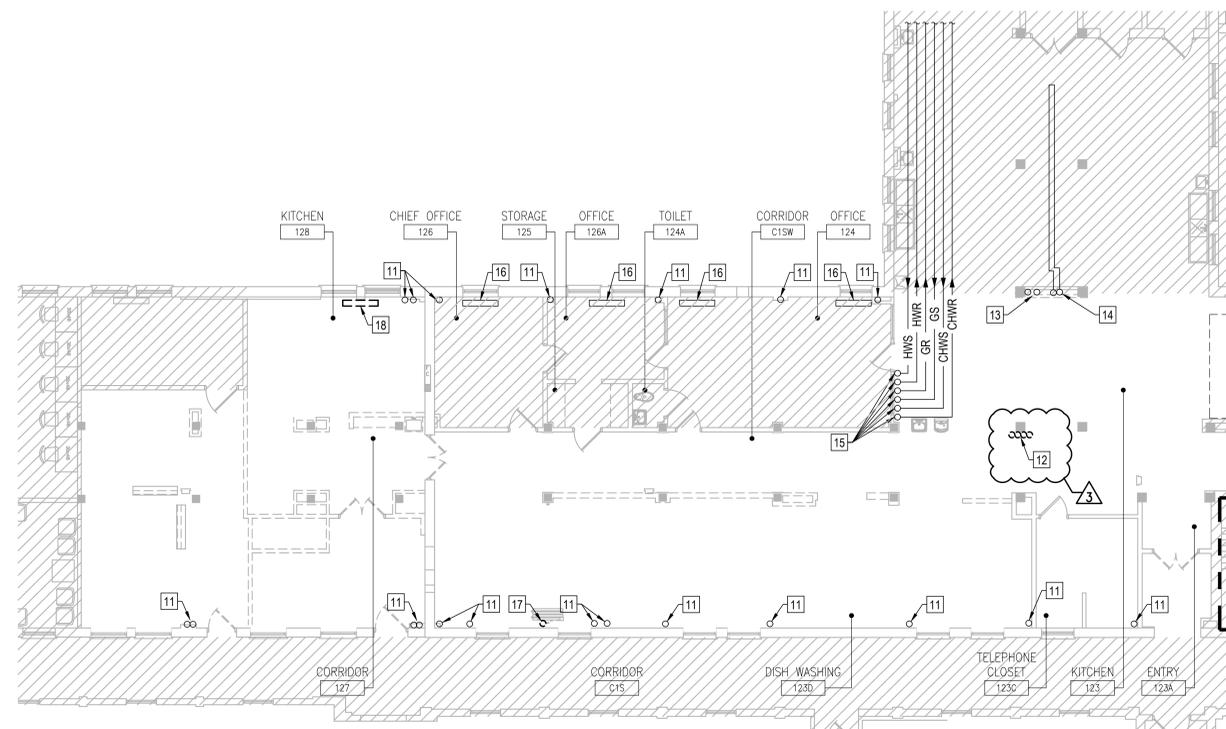
1. REMOVE SUPPLY, RETURN, AND EXHAUST DUCTWORK, ASSOCIATED DIFFUSERS, GRILLES, ACCESSORIES, FITTINGS, DAMPERS, HANGERS, SUPPORTS, AND APPURTENANCES SHOWN DASHED.
2. REMOVE EXISTING EXHAUST HOOD AND ALL ASSOCIATED MOUNTING DEVICES, DUCTWORK, CONTROLS, ETC.
3. EXISTING WINDOW AIR CONDITIONING UNIT TO BE REMOVED.
4. TEMPORARY AC COOLING UNIT AND ASSOCIATED DUCTWORK TO BE REMOVED.
5. EXISTING DUCTWORK RISER DOWN THROUGH FLOOR TO BE REMOVED. CAP DUCTWORK IN CEILING BELOW AND REPAIR FLOOR OPENING TO MATCH SURROUNDING CONDITIONS.
6. CAP DUCTWORK AT THIS LOCATION. REMOVE ALL DUCTWORK, DIFFUSERS, GRILLES, INSULATION, HANGERS, SUPPORTS, ETC. SHOWN DASHED BEYOND THIS POINT.
7. EXISTING DUCTWORK TO REMAIN.
8. EXISTING KITCHEN HOOD SECTION TO REMAIN.
9. EXISTING WINDOW AIR CONDITIONING UNIT TO REMAIN.
10. EXISTING OUTDOOR AIR HANDLING UNIT AND ASSOCIATED COMPONENTS TO BE ABANDONED IN PLACE.
11. EXISTING 1-1/4" OR 3/4" LOW PRESSURE STEAM.
12. DEMOLISH AND REMOVE ACTIVE STEAM LINE BACK TO UNION IN BASEMENT. CAP AND SEAL ALL PIPING AT FIRST FLOOR CEILING LEVEL. PIPING UP TO ROOF TO REMAIN AS IS. VERIFY STEAM LINE IS SEALED AND CAPPED AT ROOF LEVEL TO PREVENT INFILTRATION OF WATER.
13. EXISTING 2-1/2" MEDIUM PRESSURE STEAM SUPPLY AND 1-1/4" DRIP RETURN CONDENSATE TO REMAIN.
14. EXISTING 3" MEDIUM PRESSURE STEAM, 1-1/4" DRIP RETURN, AND BRANCH LINES TO KITCHEN EQUIPMENT.
15. EXISTING 5" CHW, 2" GLYCOL HOT WATER, 1-1/2" HW PIPING TO REMAIN. PROTECT DURING CONSTRUCTION.
16. EXISTING RADIATOR TO REMAIN.
17. EXISTING LOW PRESSURE STEAM RETURN LINE TO BE DEMOLISHED AND REROUTED TO FACILITATE NEW DESIGN.
18. REMOVE EXISTING RADIATOR AND ALL ASSOCIATED COMPONENTS. REFER TO ARCHITECTURAL DEMOLITION DRAWINGS INSTRUCTIONS TO PATCH AND REPAIR OPENING IN WALL. DEMOLISH PIPING BACK TO BASEMENT AND CAP AT MAIN.

GENERAL NOTES

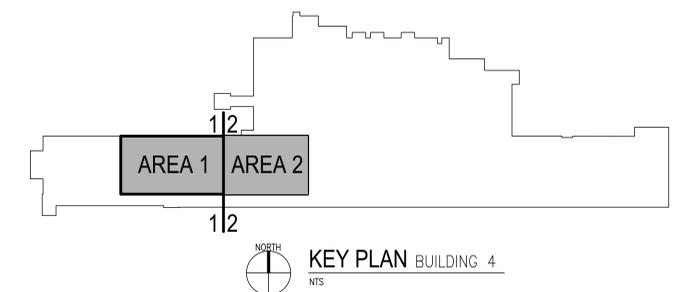
- A. CLEAN AND SEAL ALL EXISTING DUCTWORK THAT WILL BE REUSED.
- B. CONTRACTOR SHALL REPAIR AND/OR REPLACE ALL INSULATION AT EXISTING SHEET METAL DUCTWORK WHICH BECOMES DAMAGED DURING CONSTRUCTION ACTIVITIES.
- C. DURING CONSTRUCTION, PROVIDE TEMPORARY CLOSURES ON ALL SUPPLY AND RETURN AIR DUCT OPENINGS BY SEALING WITH A DISPOSABLE POLYETHYLENE SHEETING TO PREVENT CONSTRUCTION DUST FROM ENTERING DUCTWORK SYSTEM OR AIR TERMINAL UNITS.
- D. ANY DUCTWORK THAT IS EXISTING TO REMAIN, WHETHER OR NOT SHOWN ON THESE DRAWINGS, THAT IS CRUSHED OR DAMAGED IN ITS CURRENT CONDITION OR AS A RESULT OF CONSTRUCTION, SHALL BE REPLACED WITH NEW.
- E. ALL ABANDONED OPENINGS TO BE CLOSED, REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS.
- F. REMOVE ALL ASSOCIATED CLAMPS, HANGERS, SUPPORTS, ETC., ASSOCIATED WITH PIPING REMOVAL.
- G. COORDINATE ALL MECHANICAL SERVICE OUTAGES WITH COR.
- H. CONTRACTOR IS RESPONSIBLE FOR ALL COST ASSOCIATED WITH CEILING SYSTEM DISASSEMBLY AND REASSEMBLY TO ACCOMMODATE WORK. CONTRACTOR TO SALVAGE, STORE, AND REINSTALL ALL CEILING MOUNTED DEVICES.
- I. CONTRACTOR IS RESPONSIBLE FOR ALL MODIFICATIONS TO THE EXISTING PIPING NECESSARY TO PERMIT THE INSTALLATION OF NEW WORK.
- J. PIPING MAY BE SHOWN OFFSET FROM ITS ACTUAL LOCATION FOR CLARITY. FIELD VERIFY EXACT LOCATIONS.



1 MECHANICAL - VENTILATION DEMOLITION PLAN - FIRST FLOOR
1/8"=1'-0"



2 MECHANICAL - PIPING DEMOLITION PLAN - FIRST FLOOR
1/8"=1'-0"



CONSTRUCTION BULLETIN 002	11/04/2022
BID CLARIFICATIONS	05/10/2022
CONSTRUCTION BID DOCUMENTS	09/17/2021
CONSTRUCTION DOCUMENTS (CD - 100%)	06/03/2021
CONSTRUCTION DOCUMENTS (CD - 95%)	05/24/2021
DESIGN DEVELOPMENT (DD - 65%)	05/11/2021
SCHEMATIC DESIGN (SD - 35%)	04/29/2021
REVISION	DATE

ARCHITECT/ENGINEER OF RECORD

Bancroft
BANCROFT ARCHITECTS + ENGINEERS

700 Nicholas Blvd, Suite 300
Elk Grove Village, IL 60007
T: 847.952.9362
www.bancroft-ae.com
BAE PROJECT NO. 18-116

APPROVED PROJECT GOR	DATE:	APPROVED SERVICE LINE DIRECTOR	DATE:	APPROVED INFECTION CONTROL NURSE	DATE:
APPROVED GENR PROJECT MANAGER	DATE:	APPROVED PATIENT SAFETY	DATE:	APPROVED CHIEF OF POLICE	DATE:
APPROVED PROJECTS SECTION MANAGER	DATE:	APPROVED CHIEF OF STAFF	DATE:	APPROVED HEALTH CARE SYSTEM DIRECTOR	DATE:
APPROVED DIRECTOR PMS	DATE:	APPROVED SAFETY MANAGER	DATE:		

DRAWING TITLE	MECHANICAL DEMOLITION PLAN - FIRST FLOOR	PROJECT TITLE	EHRM TRAINING + ADMINISTRATIVE SUPPORT SPACE	DATE	09/17/2021
APPROVED ASSOCIATE HEALTH CARE SYSTEM DIRECTOR	DATE:	BUILDING NO.	4	CHECKED BY	DG
APPROVED CHIEF OF STAFF	DATE:	DRAWN	RR	DRAWING NO.	MDI01
APPROVED HEALTH CARE SYSTEM DIRECTOR	DATE:	LOCATION	ST. CLOUD VAHCS ST. CLOUD, MN 56303	DWG. OF	

VA

U.S. Department of Veterans Affairs
Veterans Health Administration
St. Cloud VA Health Care System



RFI RESPONSE

DATE: 9/13/2022
COMPANY: St. Cloud VA Health Care System
ATTENTION: Jonathan West | COR
FROM: Koosha Kolian
PROJECT: EHRM Training + Admin Support Space
PROJECT #: 656-21-236
TRANSMITTED: 9/12/2022

RFI NUMBER: 09

Submittal By: MDM Construction
Section No. N/A

COMMENTS

RFI:

“Per sheet AD101, Keyed Note 1 provides direction that the existing tile floor finish is to remain and an Ardex type leveling product will be placed atop. An area of roughly 570SF on the West end of the construction space contains an existing rubber tile floor instead of the ceramic tile found throughout. It is not recommended by the manufacturer to place a leveling agent over an existing rubber tile. They have no concerns placing product over the ceramic tile or even VCT but the not the rubber. Please see the outlined drawing below.”

BAE Response:

BAE recommends the following, contingent upon approval by the VA:

- Remove rubber tile floor system, including all adhesive down to concrete substrate.
- Prep concrete substrate per leveling agent manufacturer’s instructions.
- Install leveling agent as required to be flush and smooth with adjacent floor surfaces. Subject to VA approval, BAE recommends Ardex K 13 or equal for leveling agent in this area.

Reviewed By: Dana Auman

Copies To: Darlene Flook.

EHRM Training and Admin Space

RFI #011 – Confirmed ACM Mastic



Trent Hagen
MDM Construction LLC
2215 Sheyenne Street
West Fargo, ND 58078
thagen@mdmconst.com

To:

St. Cloud VAMC
Attn: Michael Engmark
4801 Veterans Dr, St Cloud, MN 56303

From:

MDM Construction LLC
2215 Sheyenne Street
West Fargo, ND 58078

Contract No: 36C77622C0072
Tel: 701-356-3956
Fax: 701-356-8798

Subject:

RFI No: 011
Date: 9/14/2022
Subject: Confirmed ACM Mastic

Information Requested:

While completing the contract glovebag abatement, several samples were taken at the area outlined in RFI #009- rubber tile flooring areas. This material has been confirmed to be asbestos containing mastic.

The outline below represents the areas that this mastic is found as well as the sampling report. Please advise as to how we should proceed.

Please review and advise. Feel free to reach out with any questions or items needed.

Thank you



RFI RESPONSE

DATE: 9/16/2022
COMPANY: St. Cloud VA Health Care System
ATTENTION: Jonathan West | COR
FROM: Koosha Kolian
PROJECT: EHRM Training + Admin Support Space
PROJECT #: 656-21-236
TRANSMITTED: 9/15/2022

RFI NUMBER: 11

Submittal By: MDM Construction
Section No. N/A

COMMENTS

RFI:

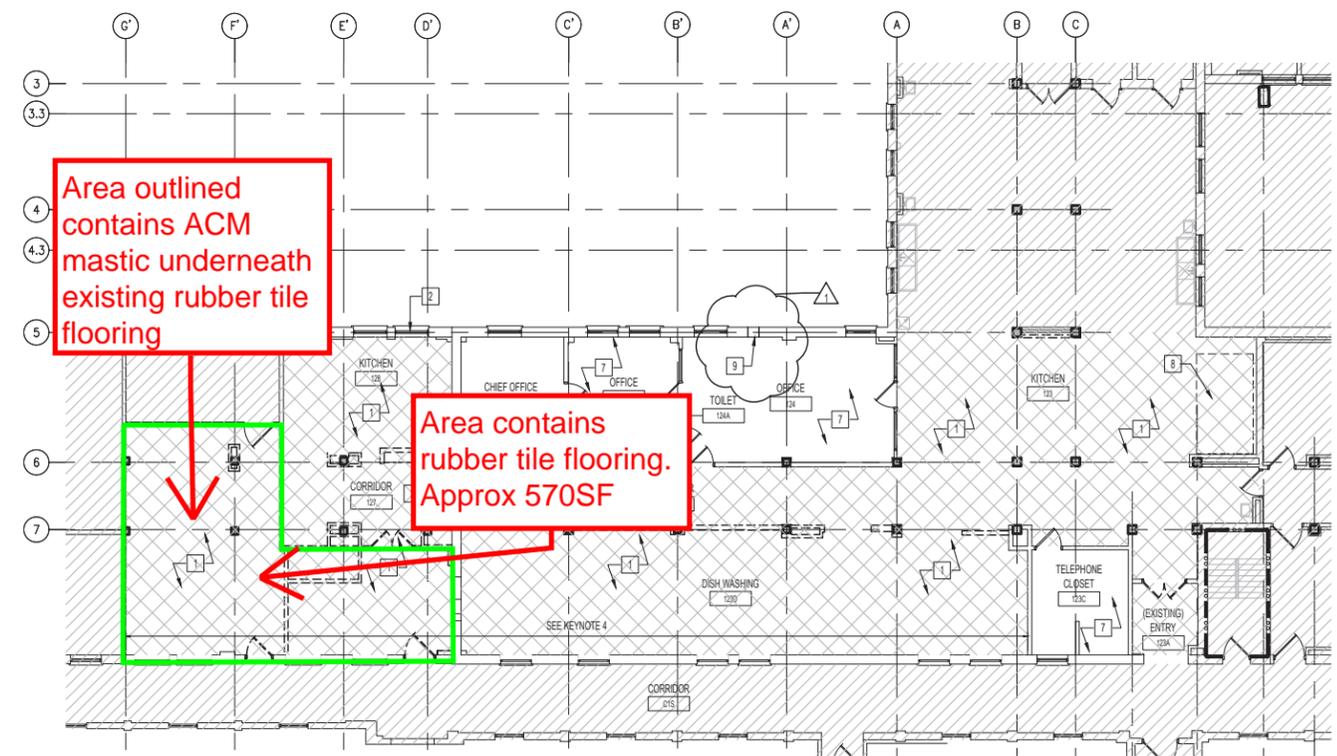
“While completing the contract glovebag abatement, several samples were taken at the area outlined in RFI #009- rubber tile flooring areas. This material has been confirmed to be asbestos containing mastic.

The outline below represents the areas that this mastic is found as well as the sampling report. Please advise as to how we should proceed.”

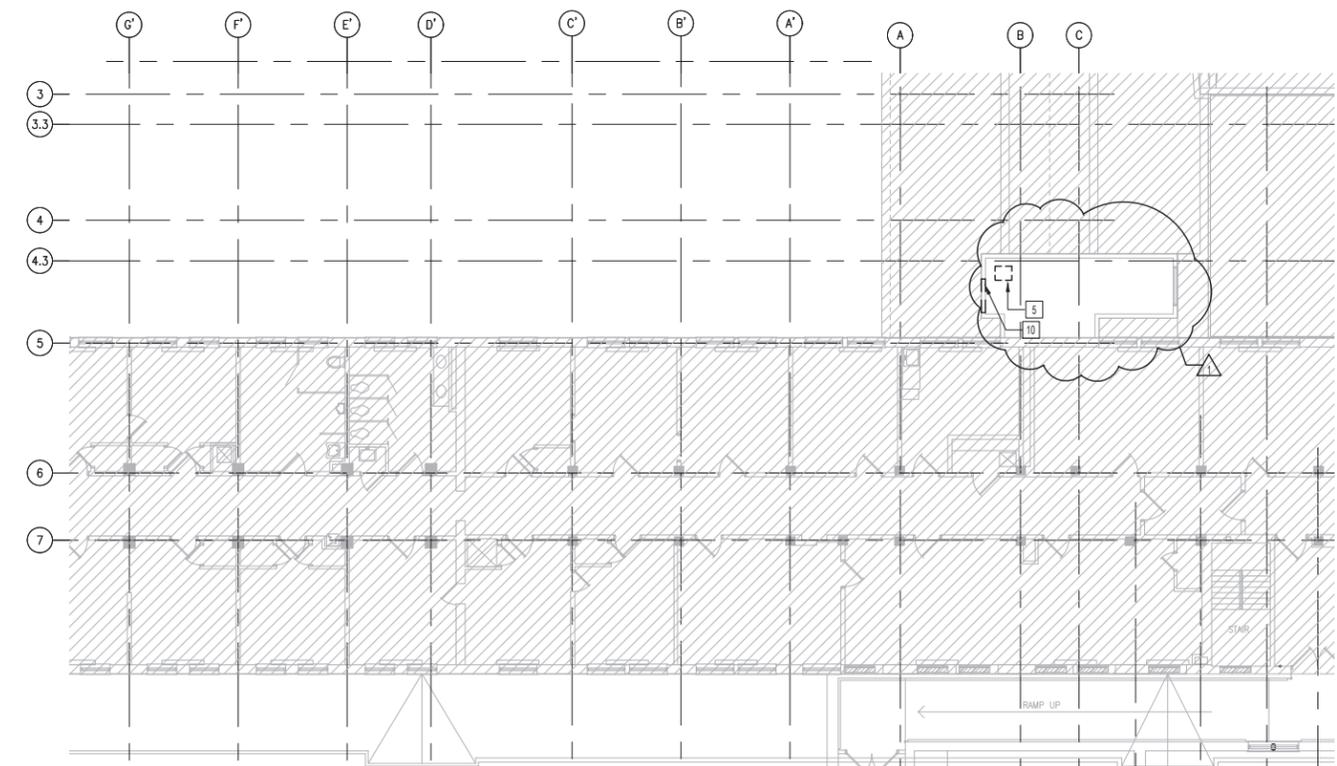
Response:

BAE takes no exception to abatement of the ACM mastic in the area defined in the attached sketch. Material shall be removed in a manner that complies with the attached Specification Section 02 82 13.19.

Reviewed By: Dana Auman
Copies To: Darlene Flook.



1 ARCHITECTURAL DEMOLITION PLAN - PARTIAL FIRST FLOOR



1 ARCHITECTURAL DEMOLITION PLAN - PARTIAL SECOND FLOOR / ATTIC ABOVE KITCHEN

GENERAL PLAN DEMOLITION NOTES

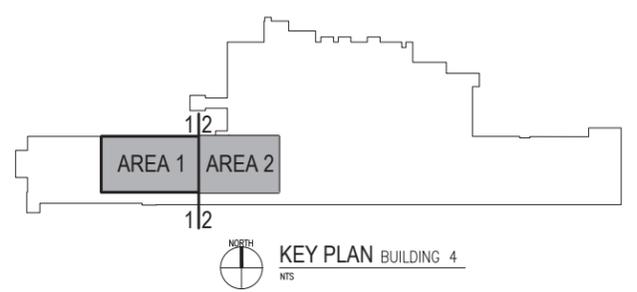
- REVIEW THIS DRAWING IN CONJUNCTION WITH CORRESPONDING PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR FULL SCOPE OF DEMOLITION WORK. REFER TO SHEET 6000 FOR GENERAL DEMOLITION NOTES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE DEMOLITION AND REMOVAL OF ALL EXISTING WALLS, CEILING, FLOORS, ELECTRICAL, TELEPHONE, FIRE PROTECTION, HVAC AND PLUMBING CONSTRUCTION AS WELL AS ALL MATERIALS, FINISHES AND EQUIPMENT THAT IS NOT SPECIFICALLY SHOWN OR CALLED FOR AS REQUIRED TO FACILITATE THE NEW CONSTRUCTION WORK INSIDE THE CONTRACT AREA, THE ADJACENT SPACE AND THE SPACES BELOW. SOME ADDITIONAL ITEMS THAT MAY NOT BE SPECIFICALLY SHOWN ON THE DEMOLITION PLAN THAT ARE A PART OF THE DEMOLITION WORK, BUT NOT LIMITED TO, ARE CASEWORK, SHELVE, DOOR HARDWARE, MISC. HARDWARE, SCHEDULE FLOORING, WALL BASE, WOOD GROUNDS, WALL COVERING MATERIALS, REMAINING MASTIC AND SEALANTS, EXPOSED ANCHORS AND FASTENERS, FRAMING MATERIALS, CHAIR RAILS, BRACKETS, HOOKS, ETC.
- VERIFY EXISTING CONDITIONS AND PROMPTLY REPORT ANY DRAWING DISCREPANCIES TO THE COR AND ARCHITECT.
- ALL CONSTRUCTION TO REMAIN THAT IS AFFECTED BY DEMOLITION SHALL BE PATCHED AND BE PROPERLY MEMBERED AND ALIGNED SO AS TO LEAVE NO EVIDENCE OF PATCHING OR REPAIR.
- IF DURING THE COURSE OF REMOVAL OF EXISTING FINISHES FROM ITEMS INDICATED TO REMAIN (FLOORS, WALLS, ETC.), THE SUBSTRATE BECOMES DAMAGED BEYOND REPAIR, REPLACE DAMAGED SECTION TO THE POINT WHERE NEW FINISHES CAN BE APPLIED WITHOUT DETECTION OF DAMAGED AREAS.
- WHERE WALLS HAVE BEEN REMOVED, FILL ANY VOIDS IN FLOOR WITH NON-SHRINK GROUT AS REQUIRED PRIOR TO PATCHING AND LEVELING FOR NEW FLOOR FINISHES.

PLAN DEMOLITION LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING PARTITION TO BE REMOVED IN ITS ENTIRETY, INCLUDING WALL SWITCHES, OUTLETS, THERMOSTATS, ETC. PATCH ADJUTING WALLS, FLOORS AND CEILING AS REQUIRED. REMOVE EXISTING ITEMS SCHEDULED TO REMAIN AS NECESSARY TO ALLOW THE COMPLETE DEMOLITION OF SELECTED ITEMS. REPAIR/REPLACE EXISTING ITEMS ONCE DEMOLITION IS COMPLETED.
- EXISTING DOOR, FRAME AND HARDWARE TO BE REMOVED.
- EXISTING DOOR TO REMAIN
- AREA NOT INCLUDED IN CONTRACT
- EXISTING TILE FLOOR FINISH

PLAN DEMOLITION KEYNOTES

- EXISTING TILE FLOOR FINISH TO REMAIN. THOROUGHLY CLEAN AND DRY. SKIM COAT WITH ARDEX TYPE LEVELING COMPOUND BEFORE APPLICATION OF NEW FLOORING.
- REMOVE EXISTING WINDOW AC UNIT ASSEMBLY AND PREP TO RECEIVE LOUVER ASSEMBLY. COORDINATE WITH MECHANICAL DRAWINGS.
- REMOVE SINK AND ASSOCIATED PLUMBING. COORDINATE WITH PLUMBING DRAWINGS.
- EXISTING FINISHES AT EXTERIOR WALL TO BE REMOVED TO EXPOSE MASONRY SUBSTRATE. MASONRY SUBSTRATE TO BE CLEANED, PREPPED AND PLUMB FOR NEW FURRING.
- EXISTING DUCT PENETRATION TO BE REUSED. COORDINATE WITH MECHANICAL DRAWINGS.
- EXISTING LOUVER TO BE REMOVED. CLEAN AND PREP OPENING TO RECEIVE NEW LOUVER. SEAL PERIMETER OF LOUVER TO CREATE WEATHERPROOF ENCLOSURE. COORDINATE WITH MECHANICAL DRAWINGS.
- NO DEMOLITION CONSTRUCTION WORK IN THIS AREA. AREA TO REMAIN ACCESSIBLE DURING CONSTRUCTION.
- EXISTING OVEN TO REMAIN.
- SAW CUT EXISTING MASONRY WALL TO ACCOMMODATE SCHEDULED LOUVER. WALL CONSTRUCTION IS 3 WYTHES OF MASONRY. PATCH INTERIOR WALL TO MATCH EXISTING AND TO LEAVE NO EVIDENCE OF WORK. APPLY SEALANT AROUND PERIMETER OF LOUVER IN MASONRY WALL. LOUVER AND OPENING IS MADE ABOVE EXISTING CEILING LINE.
- DEMOLISH EXISTING WALL CONSTRUCTION TO ACCOMMODATE SCHEDULED LOUVER. WALL CONSTRUCTION IS METAL PANELING ON WOOD FRAME CONSTRUCTION. SEE DETAIL 13/502 FOR LOUVER DETAIL.



September 13, 2022

Attn: Steve Bodnar
Techtron Engineering

2040 N Ferry St.
Anoka, MN 55303
Phone 763.712.9502
www.techtronengineering.com

Project Location: St Cloud VA

Client Project #: 23219
Techtron Project #: 23221

Sampled by: Steve Bodnar
Date Sampled:
Date Samples Received Laboratory: 9/13/2022

Analyzed by: Theresa Erpelding
Date Analyzed: 9/13/2022
Number of Samples Analyzed: 3

Test Report: Asbestos Bulk Materials Identification by PLM

Following are the results of material samples obtained for asbestos identification analysis. Samples were observed at 42X magnification and suspect fibers were isolated from the bulk samples for observation under polarized light microscopy. The fibers were then evaluated under polarized light microscopy for extinction angle, sign of elongation, and morphology. Dispersion staining was performed using Cargille dispersion oils to observe color changes of fibers at various orientations.

Analysis was performed according to EPA method 600/R-93/116. This method has a reporting limit to <1% asbestos, in volumetric concentrations. Bulk samples were checked for the following types of asbestiform minerals: chrysotile, amosite, crocidolite, anthophyllite, and tremolite-actinolite.

Laboratory is ISO/IEC 17025:2017 accredited.

All sample details and results are listed in the table below.



Theresa Erpelding
Laboratory Manager

Client Sample #	Lab Sample #	Sample Location	Material Description	Layers	Results
1	23221-1	Bldg 4 Kitchen	Mastic- Black		3% Chrysotile
2	23221-2	Bldg 4 Kitchen	12x12 Ceiling Tile- White		NAFD

End of Report

NAFD = No Asbestos Fibers Detected
NAPS = Not Analyzed Positive Stop

*No asbestos was detected. However, due to the uncertainty with existing testing techniques for vermiculite insulation, the Environmental Protection Agency and Agency for Toxic Substances and Disease Registry strongly recommend that all vermiculite insulation be assumed to contain asbestos. Therefore, Techtron Engineering recommends that this material be assumed to contain asbestos in quantities less than one percent.

Reporting Limit: <1%. Some samples reported as NAFD may contain asbestos fibers in quantities below 1%. Detection limits are dependent upon the sample size, matrix, and any interferences that may be present in the sample. Point counting is recommended for samples that require more precise quantification when samples contain low volumes of asbestos fibers (i.e. 1-5%). Uncertainty data available in EPA 600 R-93 116. Results are based on field sampling information provided by the client and are only valid for samples tested. Samples are stored for 30 days unless other arrangements are made by the client. Samples received in good condition unless otherwise noted. This report shall not be reproduced except in full, without the written approval of Techtron Engineering. AIHA-LAP, LLC Lab #101106. PJLA ISO 17025 Accreditation No. 108481.

EHRM Training and Admin Space

RFI #013 – Follow Up to RFI #008- Additional Unforeseen Assumed ACM Materials



Trent Hagen
MDM Construction LLC
2215 Sheyenne Street
West Fargo, ND 58078
thagen@mdmconst.com

To:

St. Cloud VAMC
Attn: Michael Engmark
4801 Veterans Dr, St Cloud, MN 56303

From:

MDM Construction LLC
2215 Sheyenne Street
West Fargo, ND 58078

Contract No: 36C77622C0072
Tel: 701-356-3956
Fax: 701-356-8798

Subject:

RFI No: 013
Date: 9/19/2022
Subject: Follow Up to RFI #008- Additional Unforeseen Assumed ACM Materials

Information Requested:

Please see the marked-up drawings and photos below with piping locations and ID's. Here is a description of each pipe in question that has been found during the demo of the hood, chase walls, column furring, etc.

- A- Appears to be an abandoned water line that is capped on the north side of the chase wall. Piping runs up through the floor and up 10'' then turns out of the north chase wall.
- B- Appears to be an abandoned waste line that is capped on the north side of the chase wall. Piping runs up through the floor from the basement and up about 18'' then turns out of the North chase wall where it is capped.
- C- Appears to be a steam line. Runs up from the basement roughly 9' then 45's back and runs above the North equipment hood. Line is assumed to be active yet.
- D- Appears to be a steam line. Runs up from the basement roughly 9' then 45's back and runs above the North equipment hood. Line is assumed to be active yet.
- E- Appears to be a domestic water line. Runs up from the basement to about 9'-6'' then turns out of the column chase and heads to the South about 10', then 90's and heads West 4'
- F- Appears to be an existing waste system for what was a bathroom in the past. The 3'' waste piping runs and drops into a 4'' waste riser in the B5 and C5 column chase. The 3'' waste piping is covered with the ACM materials. Per a review with the COR, the bathroom on 2nd floor is no longer there as the space is now offices. These lines are assumed to not be active.

- G- Domestic water. Water line runs up through the floor from the basement, line is active- not sure what it feeds to once heads to the West.
- H- Domestic water. Water line runs up through the floor from the basement, line is active- not sure what it feeds to once heads to the West.
- I- Possibly abandoned domestic water line. The lines run up through the floor from the basement and follow up the column and appear to travel up to 2nd floor. Pipe J does appear to tie into this line about a foot below the deck of 2nd floor. This line as cut off in the basement.
- J- Possibly abandoned domestic water line. This line runs up through the floor from the basement and follows up the column. About 1' from the 2nd floor deck, this line appears to tie into pipe I. This line is cut off in the basement.
- K- Appears to be a domestic cold water line. Possibly a drinking fountain on 2nd floor? This line runs up from the basement through first floor and up to 2nd floor. This line appears to be active yet. Not sure if this line impacts the new desired layout.

Please review and advise. Feel free to reach out with any questions or items needed.

Thank you



RFI RESPONSE

DATE: 9/21/2022
COMPANY: St. Cloud VA Health Care System
ATTENTION: Jonathan West | COR
FROM: Koosha Kolian
PROJECT: EHRM Training + Admin Support Space
PROJECT #: 656-21-236
TRANSMITTED: 9/19/2022

RFI NUMBER: 13

Submittal By: MDM Construction
Section No. N/A

COMMENTS

RFI:
“Please see the marked-up drawings and photos below with piping locations and ID’s. Here is a description of each pipe in question that has been found during the demo of the hood, chase walls, column furring, etc.

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H- Domestic water. Water line runs up through the floor from the basement, line is active- not sure what it feeds to once heads to the West.

I- Possibly abandoned domestic water line. The lines run up through the floor from the basement and follow up the column and appear to travel up to 2nd floor. Pipe J does appear to tie into this line about a foot below

3300 Dundee Rd | Northbrook, Illinois 60062

California | Connecticut | Colorado | Florida | Louisiana | Pennsylvania | Virginia | Wisconsin

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RFI RESPONSE

BANCROFT ARCHITECTS + ENGINEERS

the deck of 2nd floor. This line as cut off in the basement.

J- Possibly abandoned domestic water line. This line runs up through the floor from the basement and follows up the column. About 1' from the 2nd floor deck, this line appears to tie into pipe I. This line is cut off in the basement.

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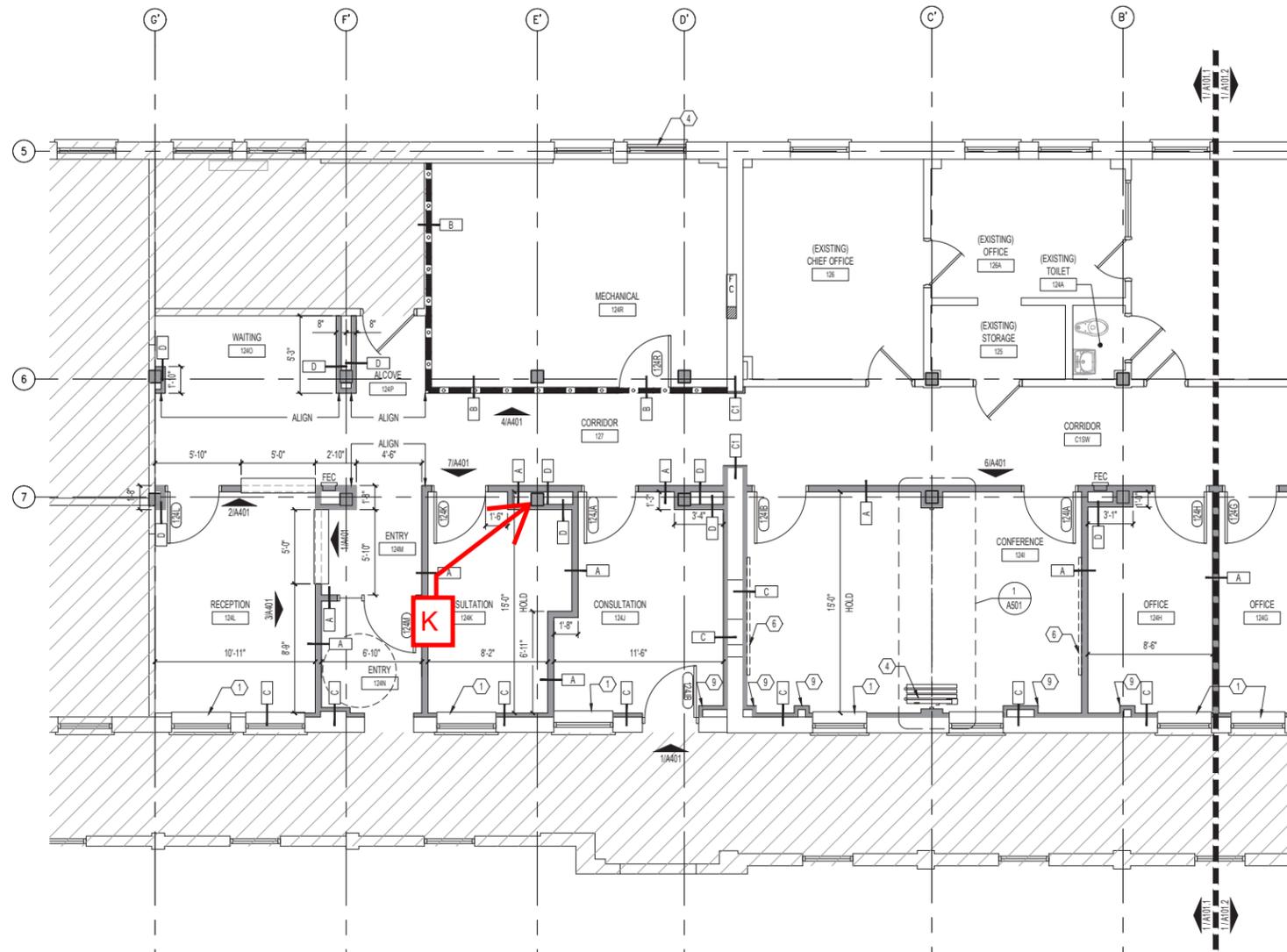
BAE Response:

BAE would normally recommend only abatement of insulation on piping that will impact the contractor's ability to perform the Work. However, the VA may see value in completely abating the exposed insulation throughout in order to not have to address again on future renovation projects. Please verify with the VA as to expectation on extent of abatement work.

Other items of concern: Items A and B. BAE recommends removal of the abandoned water and waste lines back to their source (per VA design protocol.)

Reviewed By: Dana Auman

Copies To: Darlene Flook.



1 ARCHITECTURAL FLOOR PLAN - AREA 1
10/11/21



GENERAL FLOOR PLAN NOTES

- REVIEW THIS DRAWING IN CONJUNCTION WITH CORRESPONDING FIRE PROTECTION, PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR FULL SCOPE OF WORK.
- ALL NEW CONSTRUCTION WHICH ENGAGES EXISTING SHALL BE JOINED IN A CAREFUL MANNER BEING PROPERLY ALIGNED AND MEMBERED SO AS TO LEAVE NO EVIDENCE OF PATCHING OR REPAIR. PATCH TO MATCH ALL EXISTING WALLS, FLOORS, AND CEILINGS AFFECTED BY NEW CONSTRUCTION.
- CONTRACTOR SHALL REPAIR AND PATCH ALL EXISTING WALL CONSTRUCTION WHERE CRACKS, DENTS, HOLES OR OTHER IMPERFECTIONS HAVE OCCURRED AND PREPARE SMOOTH SURFACE FOR NEW FINISH. ANY DAMAGE TO SUCH AREAS SHALL BE RESTORED TO A "LIKE-NEW" CONDITION AS NOTED PRIOR TO THE VA'S ACCEPTANCE OF THE WORK.
- PROVIDE SILICONE SEALANT JOINTS AT JUNCTION OF ALL PLUMBING FIXTURES & COUNTERTOPS TO A WALL SURFACE.
- DO NOT SCALE DRAWINGS. USE THE GIVEN DIMENSIONS. COORDINATE ALL SHOP DRAWING REQUIREMENTS.
- LEVEL FLOOR WHERE REQUIRED IN AREAS TO RECEIVE FLOORING. SLOPE FLOOR TOWARDS FLOOR DRAIN IN ROOMS WITH A FLOOR DRAIN.
- ALL CUTTING, CORING AND DRILLING OF EXISTING CONCRETE MEMBERS SHALL NOT DAMAGE EXISTING REINFORCING STEEL. PRIOR TO CORING VERIFY SIZE AND LOCATION WITH THE COR AND OBTAIN A SUCCESSFUL REVIEW FROM THE STRUCTURAL ENGINEER.
- PROJECT LIMIT LINES ARE SHOWN FOR ORIENTATION ONLY AND SHOULD NOT BE CONSTRUED TO BE COMPLETE. REFER TO OTHER DRAWINGS FOR UTILITY DEMOLITION AND NEW CONNECTIONS, ETC.
- IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO ADEQUATELY PROTECT EXISTING CONSTRUCTION AND FINISHES TO REMAIN IN PLACE DURING DEMOLITION AND CONSTRUCTION PHASES OF THE WORK. ALL FINISHED AREAS ADJACENT TO AND INCLUDED IN THE AREAS OF CONSTRUCTION SHALL BE PROTECTED FROM DUST AND DIRT THROUGH THE USE OF COR-APPROVED DUSTPROOF PROTECTION.
- EACH CONTRACTOR SHALL KEEP ACCURATE RECORDS OF ALL CONCEALED WORK THAT DIFFERS FROM THE CONTRACT DRAWINGS SO THAT ACCURATE RECORD DRAWINGS AS BUILTS CAN BE KEPT BY THE GENERAL CONTRACTOR AND PROVIDED TO THE COR FOR DISTRIBUTION TO THE VA AND THE ARCHITECT/ENGINEER AT THE COMPLETION OF THE PROJECT.
- EXISTING COLUMNS TO REMAIN, WHERE NEW WALL IS SHOWN TO ENCLOSE COLUMN, REFER TO PARTITION TYPE C ON SHEET A301.

RATED PARTITION LEGEND

CONTRACTOR IS REQUIRED TO MAINTAIN ALL RATED PARTITIONS.

REFER TO RATED PARTITION NOTES ON G101.

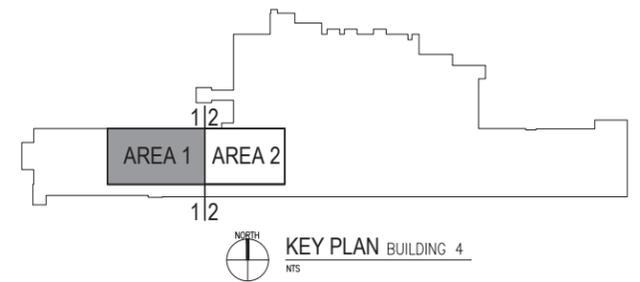
- 1 HR FIRE BARRIER
- 2HR FIRE BARRIER
- SMOKE BARRIER

FLOOR PLAN LEGEND

- EXISTING PARTITION WALL
- NEW PARTITION WALL
- EXISTING DOOR. PAINT EXISTING DOORS AND FRAMES TO REMAIN.
- AREA NOT INCLUDED IN CONTRACT
- FEC FIRE EXTINGUISHER CABINET

FLOOR PLAN KEYNOTES

- EXISTING WINDOW TO REMAIN. PROVIDE TINTED GLASS FILM AT OFFICE SIDE. PROVIDE NEW SOLID SURFACE SILL. REFER TO DETAIL S402.
- COORDINATE NEW LOUVER WITH MECHANICAL DRAWINGS.
- HAND WASHING SINK. COORDINATE WITH PLUMBING DRAWINGS.
- ACOUSTICAL OPERABLE PARTITION.
- ELECTRIC WATER COOLER WITH BOTTLE FILLING STATION. COORDINATE WITH PLUMBING DRAWINGS.
- PROJECTOR SCREEN FURNISHED / INSTALLED BY VA.
- FINISH WALL CORNER TO CORNER AND FLOOR TO CEILING. PRIOR TO PAINTING THE ENTIRE WALL SURFACE WITH ONE FINISH COAT OF PAINT. PROVIDE ONE PRIME COAT AND TWO FINISH COATS OVER PATCHED/REPAIRED WALL SURFACES.
- EXISTING KITCHEN EQUIPMENT TO REMAIN.
- PROVIDE ENCLOSURE AT EXISTING PIPE TO REMAIN. VERIFY LOCATION OF PIPE IN FIELD.



No	REVISION	DATE
5	CONSTRUCTION BID DOCUMENTS	09/17/2021
4	CONSTRUCTION DOCUMENTS (CD - 100%)	06/03/2021
3	CONSTRUCTION DOCUMENTS (CD - 95%)	05/24/2021
2	DESIGN DEVELOPMENT (DD - 65%)	05/11/2021
1	SCHEMATIC DESIGN (SD - 35%)	04/29/2021

ARCHITECT/ENGINEER OF RECORD		
700 Nicholas Blvd, Suite 300 Elk Grove Village, IL 60007 T: 847.952.9342 www.bancaff-ae.com BAE PROJECT NO. 18-116		

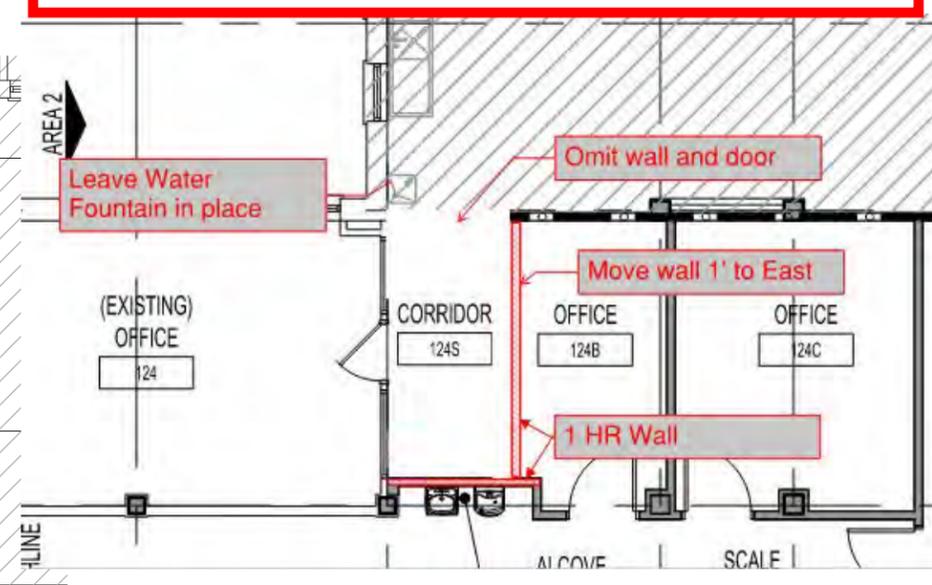
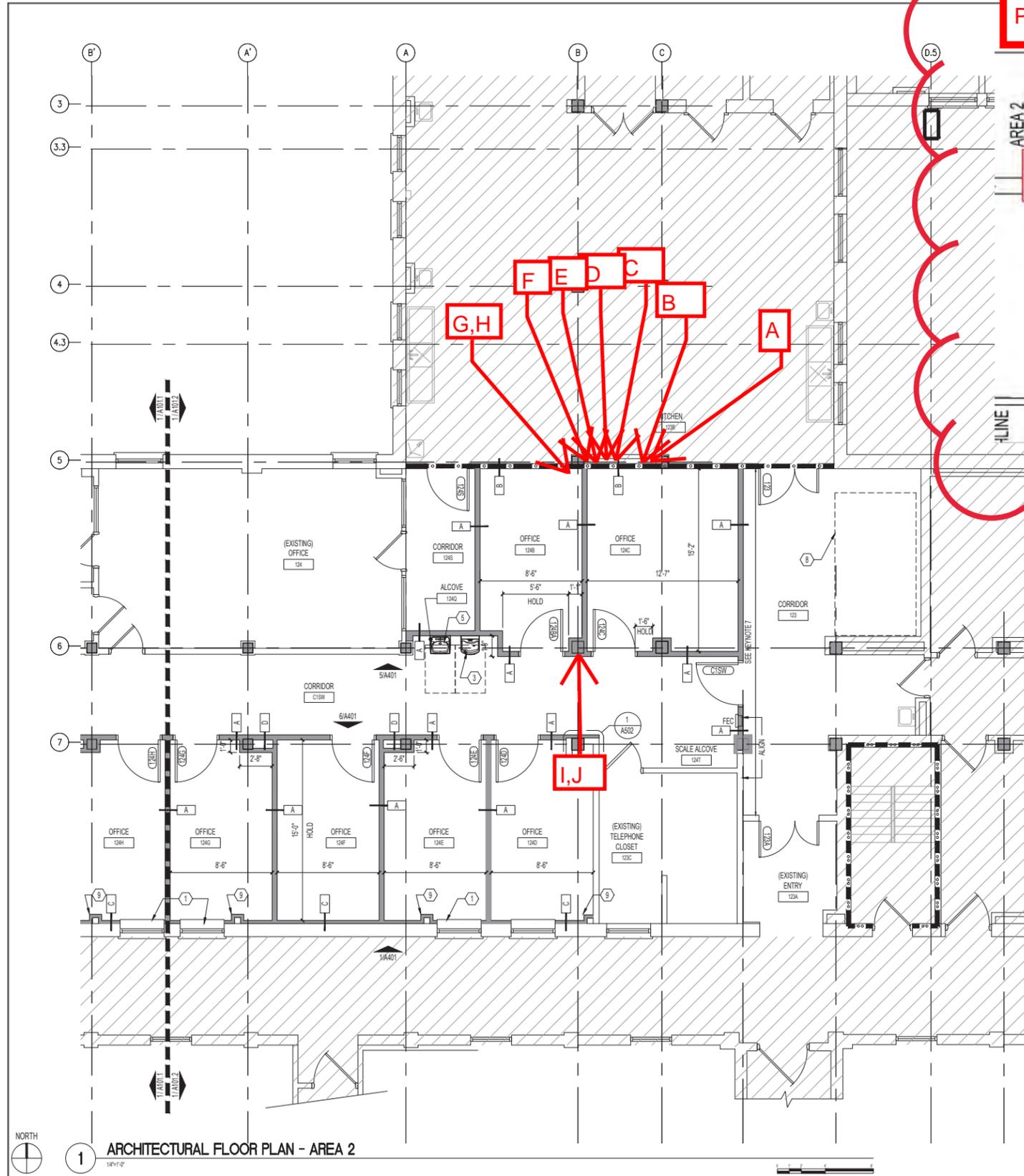
APPROVED PROJECT DIR	DATE	APPROVED SERVICE LINE DIRECTOR	DATE	APPROVED INFECTION CONTROL NURSE	DATE

DRAWING TITLE		PROJECT TITLE		DATE
ARCHITECTURAL FLOOR PLAN - AREA 1		EHRM TRAINING + ADMINISTRATIVE SUPPORT SPACE		09/17/2021
APPROVED ASSISTANT HEALTH CARE SYSTEM DIRECTOR	DATE	APPROVED PROJECT MANAGER	DATE	PROJECT NO. 656-21-236
APPROVED PROJECTS SECTION MANAGER	DATE	APPROVED CHIEF OF POLICE	DATE	DRAWING NO. A1011
APPROVED DIRECTOR FNS	DATE	APPROVED SAFETY MANAGER	DATE	BUILDING NO. 4
				CHECKER BY DA DTB
				LOCATION ST. CLOUD VAHCS ST. CLOUD, MN 56303
				SIG. OF

APPROVED CHIEF OF STAFF	DATE	APPROVED HEALTH CARE SYSTEM DIRECTOR	DATE

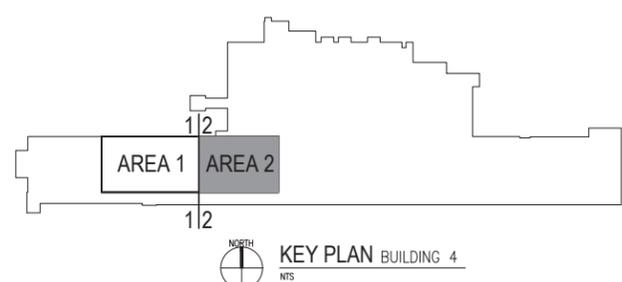
U.S. Department of Veterans Affairs
 Veterans Health Administration
 St. Cloud VA Health Care System

Per Jonathan West- 8/15/2022



- GENERAL FLOOR PLAN NOTES**
1. REVIEW THIS DRAWING IN CONJUNCTION WITH CORRESPONDING FIRE PROTECTION, PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR FULL SCOPE OF WORK.
 2. ALL NEW CONSTRUCTION WHICH ENGAGES EXISTING SHALL BE JOINED IN A CAREFUL MANNER BEING PROPERLY ALIGNED AND MEMBERED SO AS TO LEAVE NO EVIDENCE OF PATCHING OR REPAIR. PATCH TO MATCH ALL EXISTING WALLS, FLOORS, AND CEILINGS AFFECTED BY NEW CONSTRUCTION.
 3. CONTRACTOR SHALL REPAIR AND PATCH ALL EXISTING WALL CONSTRUCTION WHERE CRACKS, DENTS, HOLES OR OTHER IMPERFECTIONS HAVE OCCURRED AND PROVIDE SMOOTH SURFACE FOR NEW FINISH. ANY DAMAGE TO SUCH AREAS SHALL BE RESTORED TO A "LIKE-NEW" CONDITION AS NOTED PRIOR TO THE VA'S ACCEPTANCE OF THE WORK.
 4. PROVIDE SILICONE SEALANT JOINTS AT JUNCTION OF ALL PLUMBING FIXTURES & COUNTERTOPS TO A WALL SURFACE.
 5. DETAIL SCALE DRAWINGS USE THE GIVEN DIMENSIONS. COORDINATE ALL SHOP DRAWING REQUIREMENTS.
 6. LEVEL FLOOR WHERE REQUIRED IN AREAS TO RECEIVE FLOORING. SLOPE FLOOR TO TOWARDS FLOOR DRAIN IN ROOMS WITH A FLOOR DRAIN.
 7. ALL CUTTING, CORING AND DRILLING OF EXISTING CONCRETE MEMBERS SHALL NOT DAMAGE EXISTING REINFORCING STEEL. PRIOR TO CORING VERIFY SIZE AND LOCATION WITH THE COR AND OBTAIN A SUCCESSFUL REVIEW FROM THE STRUCTURAL ENGINEER.
 8. PROJECT LIMIT LINES ARE SHOWN FOR ORIENTATION ONLY AND SHOULD NOT BE CONSIDERED TO BE COMPLETE. REFER TO OTHER DRAWINGS FOR UTILITY DISRUPTION AND NEW CONNECTIONS, ETC.
 9. IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO ADEQUATELY PROTECT EXISTING CONSTRUCTION AND FINISHES TO REMAIN IN PLACE DURING DEMOLITION AND CONSTRUCTION PHASES OF THE WORK. ALL FINISHED AREAS ADJACENT TO AND INCLUDED IN THE AREAS OF CONSTRUCTION SHALL BE PROTECTED FROM DUST AND DEBRIS THROUGH THE USE OF COR APPROVED DUSTPROOF PROTECTION.
 10. EACH CONTRACTOR SHALL KEEP ACCURATE RECORDS OF ALL CONCEALED WORK THAT DIFFERS FROM THE CONTRACT DRAWINGS SO THAT ACCURATE RECORD DRAWINGS AS BUILTS CAN BE KEPT BY THE GENERAL CONTRACTOR AND PROVIDED TO THE COR FOR DISTRIBUTION TO THE VA AND THE ARCHITECT/ENGINEER AT THE COMPLETION OF THE PROJECT.
 11. EXISTING COLUMNS TO REMAIN, WHERE NEW WALL IS SHOWN TO ENCLOSE COLUMN, REFER TO PARTITION TYPE C ON SHEET A301.
- RATED PARTITION LEGEND**
- CONTRACTOR IS REQUIRED TO MAINTAIN ALL RATED PARTITIONS. REFER TO RATED PARTITION NOTES ON G101.
- 1 HR FIRE BARRIER
 - 2HR FIRE BARRIER
 - SMOKE BARRIER
- FLOOR PLAN LEGEND**
- EXISTING PARTITION WALL
 - NEW PARTITION WALL
 - EXISTING DOOR. PAINT EXISTING DOORS AND FRAMES TO REMAIN.
 - AREA NOT INCLUDED IN CONTRACT
 - FEC FIRE EXTINGUISHER CABINET
- FLOOR PLAN KEYNOTES**
1. EXISTING WINDOW TO REMAIN. PROVIDE TINTED GLASS FILM AT OFFICE SIDE. PROVIDE NEW SOLID SURFACE SILL. REFER TO DETAIL S1402.
 2. COORDINATE NEW LOUVER WITH MECHANICAL DRAWINGS.
 3. HAND WASHING SINK. COORDINATE WITH PLUMBING DRAWINGS.
 4. ACOUSTICAL OPERABLE PARTITION.
 5. ELECTRIC WATER COOLER WITH BOTTLE FILLING STATION. COORDINATE WITH PLUMBING DRAWINGS.
 6. PROJECTOR SCREEN FURNISHED / INSTALLED BY VA.
 7. FINISH WALL CORNER TO CORNER AND FLOOR TO CEILING. PRIOR TO PAINTING THE ENTIRE WALL SURFACE WITH ONE FINISH COAT OF PAINT. PROVIDE ONE PRIME COAT AND TWO FINISH COATS OVER PATCHED/REPAIRED WALL SURFACES.
 8. EXISTING KITCHEN EQUIPMENT TO REMAIN.
 9. PROVIDE ENCLOSURE AT EXISTING PIPE TO REMAIN. VERIFY LOCATION OF PIPE IN FIELD.

1 ARCHITECTURAL FLOOR PLAN - AREA 2



No	REVISION	DATE
5	CONSTRUCTION BID DOCUMENTS	09/17/2021
4	CONSTRUCTION DOCUMENTS (CD - 100%)	06/03/2021
3	CONSTRUCTION DOCUMENTS (CD - 95%)	05/24/2021
2	DESIGN DEVELOPMENT (DD - 65%)	05/11/2021
1	SCHEMATIC DESIGN (SD - 35%)	04/29/2021

ARCHITECT/ENGINEER OF RECORD

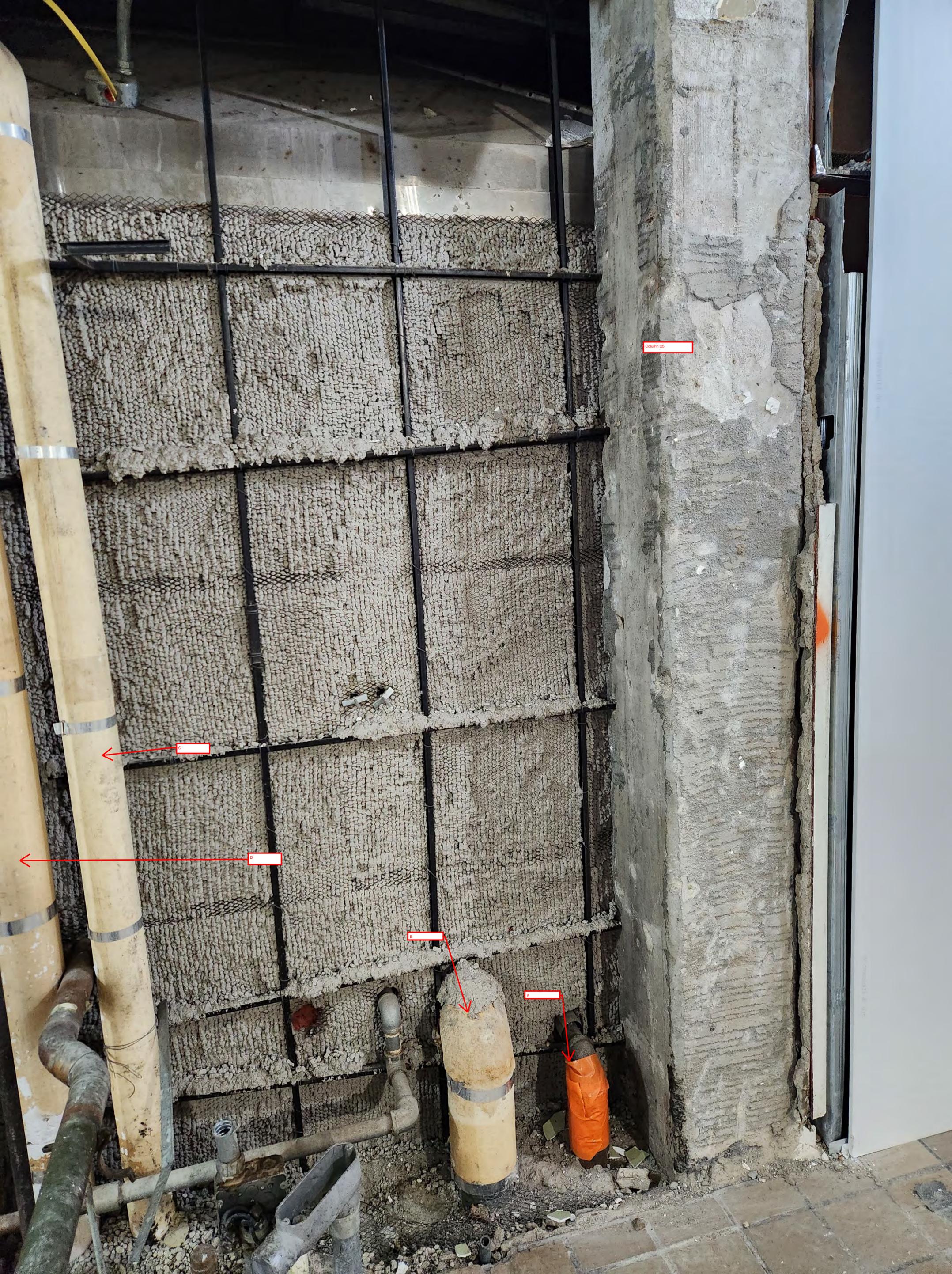
Bancroft

700 Nicholas Blvd, Suite 300
 Elk Grove Village, IL 60007
 T: 847.932.9342
 www.bancroft-ae.com
 BAE PROJECT NO. 18-116

APPROVED PROJECT DIR	DATE	APPROVED SERVICE LINE DIRECTOR	DATE	APPROVED INFECTION CONTROL NURSE	DATE

DRAWING TITLE	PROJECT TITLE	DATE
ARCHITECTURAL FLOOR PLAN - AREA 2	EHRM TRAINING + ADMINISTRATIVE SUPPORT SPACE	09/17/2021
APPROVED ASSISTANT HEALTH CARE SYSTEM DIRECTOR		
APPROVED PROJECTS SECTION MANAGER		
APPROVED CHIEF OF STAFF		
APPROVED HEALTH CARE SYSTEM DIRECTOR		

U.S. Department of Veterans Affairs
 Veterans Health Administration
 St. Cloud VA Health Care System



Column C5

C

D

B

A



Column BS

COLUMN CS

F

H

G

E

D

C

B

A



A

B

C

D

E

F

G

H

I

J

K

L

M

COLUMN B5

N

O

P



K

COLUMN E7

DANGER



RFI RESPONSE

DATE: 9/19/2022
COMPANY: St. Cloud VA Health Care System
ATTENTION: Jonathan West | COR
FROM: Koosha Kolian
PROJECT: EHRM Training + Admin Support Space
PROJECT #: 656-21-236
TRANSMITTED: 9/19/2022

RFI NUMBER: 14

Requires ASI from BAE for instructions

Lappin 11/21/22

Submittal By: MDM Construction
Section No. N/A

COMMENTS

RFI:
“Please review the marked-up drawings of existing plumbing and mechanical piping found within the construction spaces once demo was completed. These drawings only show what hasn’t been captured within the Bulletin 1 drawings. Aside from the Bulletin 1 changes from the bid documents to the now known issues that were not addressed on any of the drawings. There will be additional cost implications with the Bulletin 1 updates as well as with the marked-up drawings below. There are also several dead legs that have been identified within these piping routes, most of which have been located within the ACM tagged dirt floor crawlspaces.”

Response:
BAE conducted a site investigation on October 20, 2022 on site in conjunction with Jonathan West (VCI). The team assessed the status of the pipes in question. Decisions were made by the on-site party about how to handle each pipe. Proceed as directed by COR to the field team.

Reviewed By: Rob Ramoska
Copies To: Darlene Flook.

EHRM Training and Admin Space

RFI #014 – Existing Plumbing and Mechanical Piping Not Shown In Drawings/Dead Legs



Trent Hagen
MDM Construction LLC
2215 Sheyenne Street
West Fargo, ND 58078
thagen@mdmconst.com

To:

St. Cloud VAMC
Attn: Michael Engmark
4801 Veterans Dr, St Cloud, MN 56303

From:

MDM Construction LLC
2215 Sheyenne Street
West Fargo, ND 58078

Contract No: 36C77622C0072
Tel: 701-356-3956
Fax: 701-356-8798

Subject:

RFI No: 014
Date: 9/19/2022
Subject: Existing Plumbing and Mechanical Piping Not Shown in Drawings/Dead Legs

Information Requested:

Please review the marked-up drawings of existing plumbing and mechanical piping found within the construction spaces once demo was completed.

These drawings only show what hasn't been captured within the Bulletin 1 drawings. Aside from the Bulletin 1 changes from the bid documents to the now known issues that were not addressed on any of the drawings.

There will be additional cost implications with the Bulletin 1 updates as well as with the marked-up drawings below.

There are also several dead legs that have been identified within these piping routes, most of which have been located within the ACM tagged dirt floor crawlspaces.

Please review and advise as to how we should proceed.

Feel free to reach out with any questions or items needed.

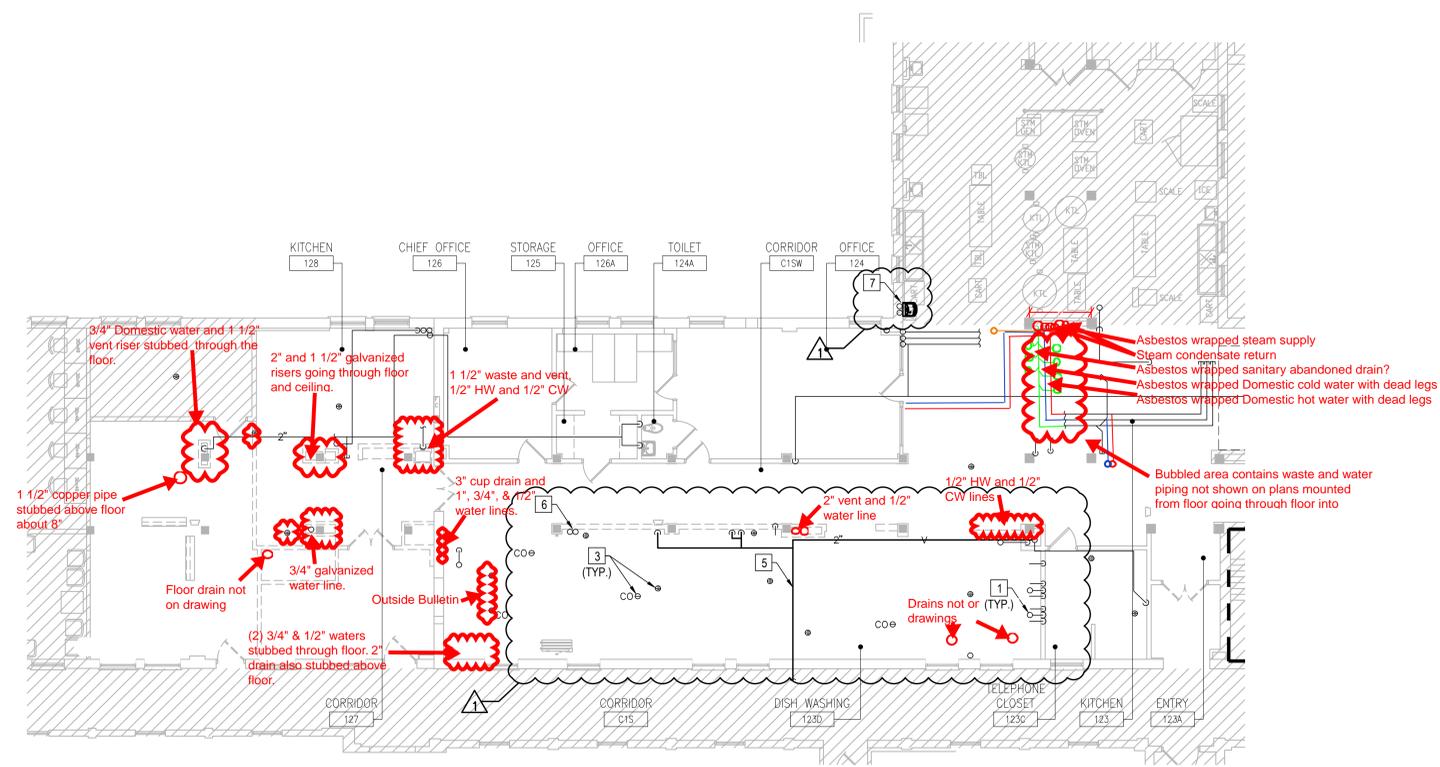
Thank you

PLUMBING DEMOLITION KEY NOTES

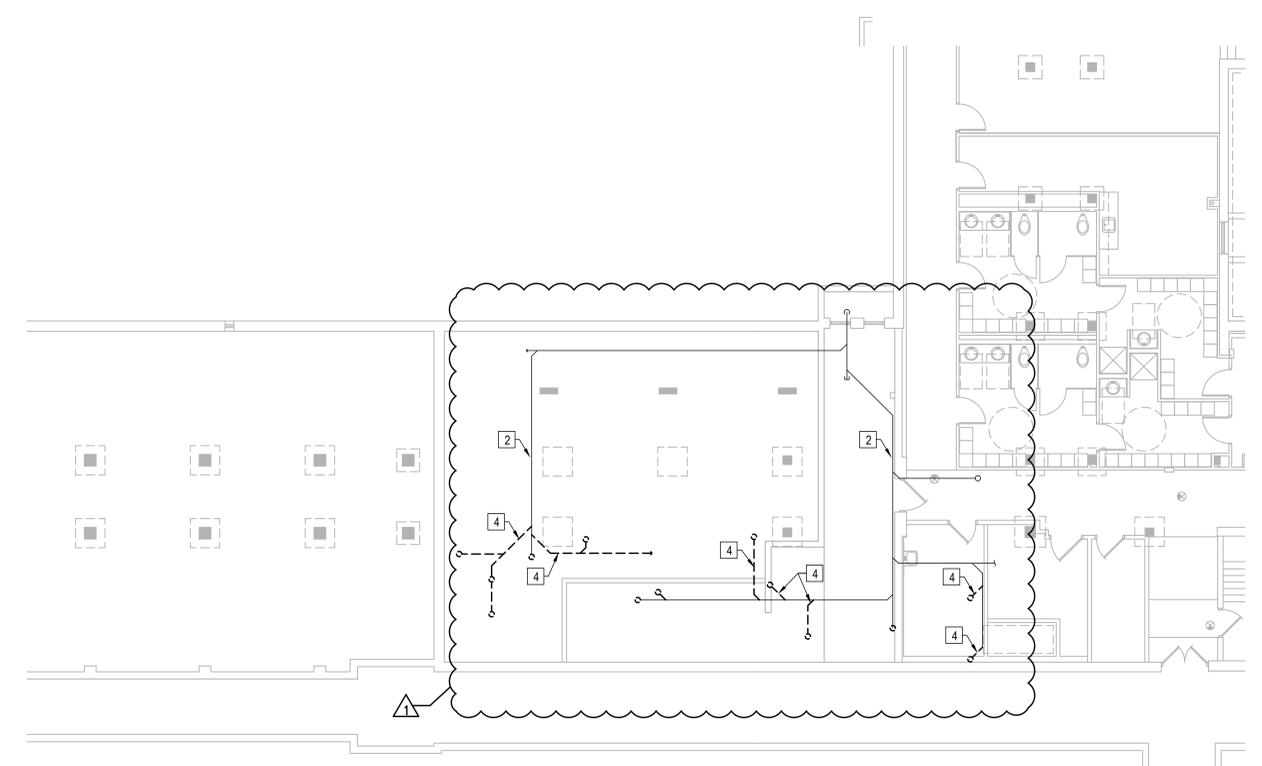
1. DEMOLISH AND REMOVE BACK TO NEAREST MAIN OR WALL PIPING WHICH IS NOT RELEVANT TO THE NEW DESIGN OR ANY OTHER ACTIVE BUILDING SYSTEM. COORDINATE WITH VA/COR FOR EXTENT OF DEMOLITION REQUIRED AT EACH LOCATION. COORDINATE WITH ARCHITECT FOR WALL AND FLOOR REPAIR INSTRUCTIONS.
2. EXISTING SANITARY PIPING RUNNING IN CRAWLSPACE. PROTECT DURING CONSTRUCTION.
3. DEMOLISH AND REMOVE FLOOR DRAINS AND CLEANOUTS. REMOVE SANITARY PIPING BACK TO MAIN IN BASEMENT CRAWLSPACE AND CAP AND SEAL. REPAIR FLOOR TO MATCH SURROUNDING.
4. REMOVE SANITARY PIPING BACK TO MAIN. CAP AND SEAL.
5. REWORK EXISTING VENT PIPING TO ACCOMMODATE NEW CONSTRUCTION PLAN. RAISE VENT PIPING ABOVE CEILING. ROUTE NEAR WALL.
6. DEMOLISH ABANDONED HOT AND COLD WATER PIPING BACK TO WALL. CAP PIPING IN WALL. PATCH AND SEAL WALL TO NEW CONSTRUCTION SPECIFICATIONS.
7. DEMOLISH AND REMOVE WATER FOUNTAIN. REMOVE DOMESTIC WATER SUPPLY PIPING BACK TO MAIN. CAP AND SEAL PIPING.

GENERAL NOTES

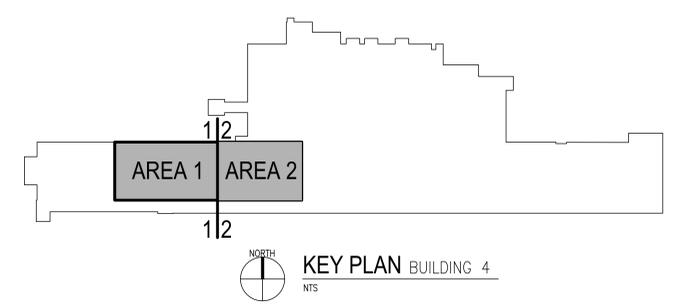
- A. CONTRACTOR TO COORDINATE WITH VA COR FOR ALL PLUMBING SERVICE OUTAGES.
- B. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO FINISHES OR COMPONENTS NOT SCHEDULED FOR DEMOLITION. DAMAGED ITEMS SHALL BE REPLACED OR REPAIRED TO MEET OR EXCEED FORMER CONDITIONS.
- C. GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF CEILING, CEILING TILES, AND CEILING GRIDS ASSOCIATED WITH AREAS OF WORK BY ALL CONTRACTORS.
- D. EXISTING CONDITIONS ARE SHOWN BASED ON INFORMATION OBTAINED FROM FIELD SURVEYS. EXISTING BUILDING DOCUMENTS, AND STAFF. VERIFY EXISTING CONDITIONS AND REPORT ANY CONFLICTS BEFORE PROCEEDING.
- E. AREA OF WORK WHERE EXISTING CEILINGS ARE TO BE REMOVED AND NEW FINISH CEILING TO BE INSTALLED. ALL EXISTING MOUNTED ITEMS SHALL BE REMOVED, STORED AND REINSTALLED IN SAME LOCATION.
- F. PROVIDE TEMPORARY CONNECTIONS TO MAINTAIN SERVICE TO SECOND FLOOR FIXTURES DURING CONSTRUCTION.
- G. ABANDONED AND/OR DEAD LEG PIPING WILL NOT BE ALLOWED AND SHALL BE REMOVED EVEN IF NOT SHOWN ON DRAWINGS.
- H. ALL PENETRATIONS SHALL BE SEALED WITH FIRE PROOFING.
- I. CONTRACTOR IS RESPONSIBLE FOR ALL COST ASSOCIATED WITH CEILING DISASSEMBLY AND REASSEMBLY TO ACCOMMODATE THIS WORK. CONTRACTOR TO SALVAGE, STORE, AND REINSTALL ALL CEILING MOUNTED DEVICES.
- J. REMOVE ALL ASSOCIATED CLAMPS, HANGERS, SUPPORTS, ETC., ASSOCIATED WITH PIPING REMOVAL.
- K. CONTRACTOR IS RESPONSIBLE FOR ALL MODIFICATIONS TO THE EXISTING PIPING NECESSARY TO PERMIT THE INSTALLATION OF NEW WORK.
- L. PATCH AND FILL CONCRETE SLAB WHERE PIPING HAS BEEN REMOVED.
- M. COORDINATE CONCRETE FLOOR SLAB REMOVAL AND REPLACEMENT WORK WITH ARCHITECTURAL AND STRUCTURAL REQUIREMENTS. NEW CONCRETE FLOOR SLAB WORK SHALL BE PERFORMED AS EARLY AS POSSIBLE IN THE PROJECT SCHEDULE TO ALLOW FOR THE PROPER CURING TIME REQUIRED TO RECEIVE THE NEW FLOOR FINISHES.
- N. CONTRACTOR TO PROVIDE "FREEZE SHUT DOWN". ANY PIPING THAT CANNOT BE VALVED OFF MUST BE "FROZE".
- O. ALL DOMESTIC PIPING BEING DEMOLISHED TO MAIN SHALL BE CAPPED AT 1.5X THE DIAMETER OF BRANCH PIPING. NO DEAD END OR STUBS ARE ALLOWED IN DOMESTIC WATER PIPING. ALL DEAD END PIPING MUST BE CAPPED.



NORTH
1 PLUMBING - DEMOLITION PLAN - FIRST FLOOR
 1/8"=1'-0"

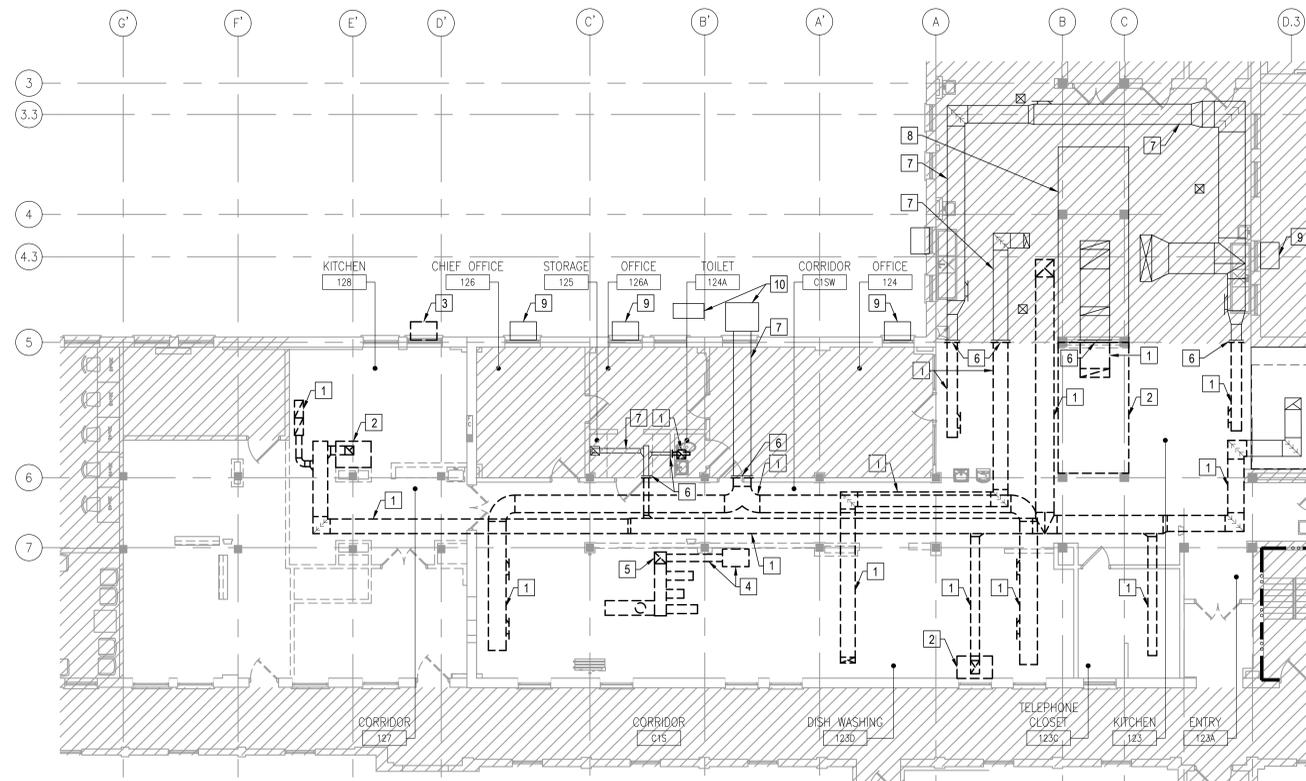


NORTH
2 PLUMBING - DEMOLITION PLAN - BASEMENT
 1/8"=1'-0"

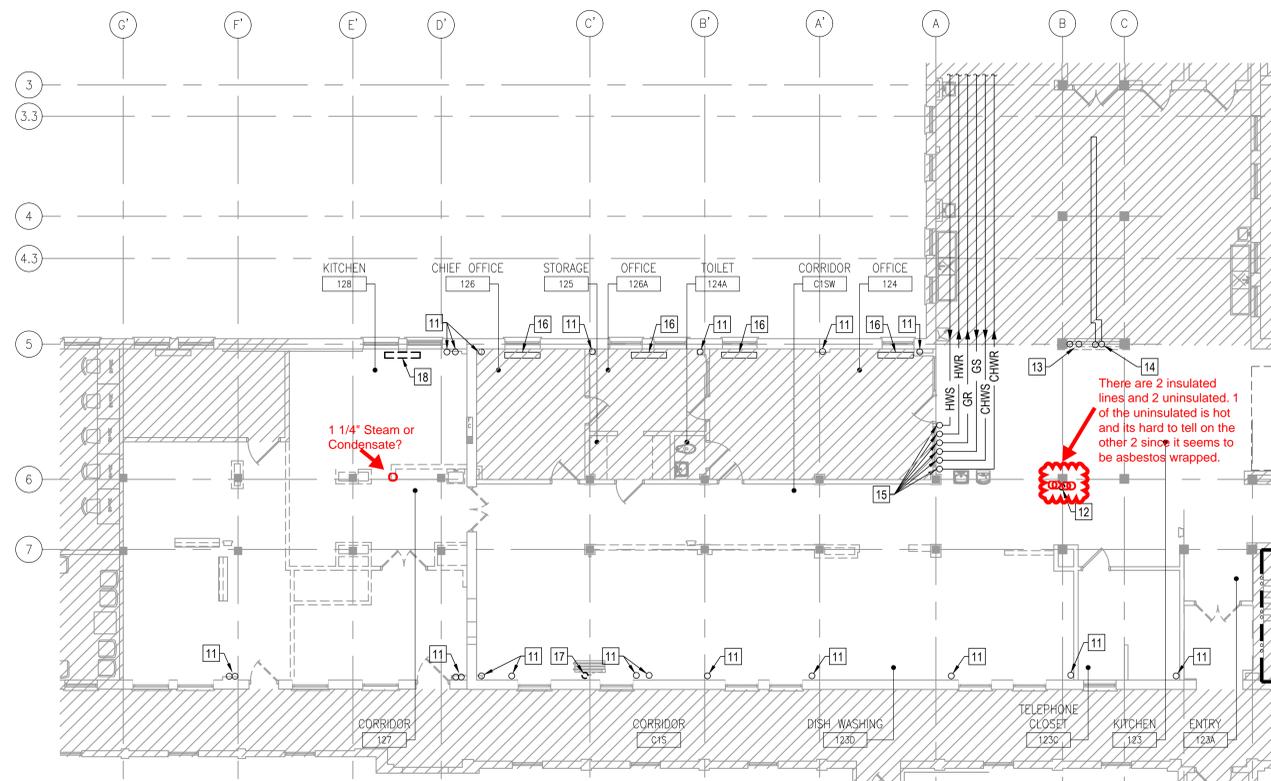


BULLETIN #1 No. REVISION DATE	06/07/2022 DATE	ARCHITECT/ENGINEER OF RECORD 700 Nicholas Blvd, Suite 300 Elk Grove Village, IL 60007 T: 847.952.9362 www.bancroft-ae.com BAE PROJECT NO. 18-116	APPROVED PROJECT GOR DATE: _____ APPROVED SERVICE LINE DIRECTOR DATE: _____ APPROVED GEN'S PROJECT MANAGER DATE: _____ APPROVED PROJECTS SECTION MANAGER DATE: _____ APPROVED DIRECTOR PMS DATE: _____	APPROVED INFECTION CONTROL NURSE DATE: _____ APPROVED PATIENT SAFETY DATE: _____ APPROVED CHIEF OF POLICE DATE: _____ APPROVED SAFETY MANAGER DATE: _____	DRAWING TITLE PLUMBING - DEMOLITION PLAN - FIRST FLOOR	PROJECT TITLE EHRM TRAINING + ADMINISTRATIVE SUPPORT SPACE	DATE: 06/27/2022 PROJECT SCALE PROJECT NO. 656-21-236 DRAWING NO. PD101 BUILDING No. 4 CHECKED BY JK DRAWN RR LOCATION: ST. CLOUD VAHCS ST. CLOUD, MN 56303
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NORTH
 1 MECHANICAL - VENTILATION DEMOLITION PLAN - FIRST FLOOR
 1/8"=1'-0"



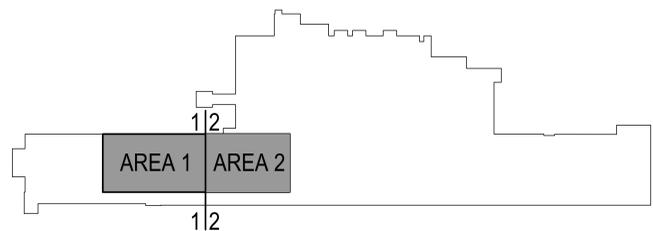
NORTH
 2 MECHANICAL - PIPING DEMOLITION PLAN - FIRST FLOOR
 1/8"=1'-0"

MECHANICAL DEMOLITION KEY NOTES

1. REMOVE SUPPLY, RETURN, AND EXHAUST DUCTWORK, ASSOCIATED DIFFUSERS, GRILLES, ACCESSORIES, FITTINGS, DAMPERS, HANGERS, SUPPORTS, AND APPURTENANCES SHOWN DASHED.
2. REMOVE EXISTING EXHAUST HOOD AND ALL ASSOCIATED MOUNTING DEVICES, DUCTWORK, CONTROLS, ETC.
3. EXISTING WINDOW AIR CONDITIONING UNIT TO BE REMOVED.
4. TEMPORARY AC COOLING UNIT AND ASSOCIATED DUCTWORK TO BE REMOVED.
5. EXISTING DUCTWORK RISER DOWN THROUGH FLOOR TO BE REMOVED. CAP DUCTWORK IN CEILING BELOW AND REPAIR FLOOR OPENING TO MATCH SURROUNDING CONDITIONS.
6. CAP DUCTWORK AT THIS LOCATION. REMOVE ALL DUCTWORK, DIFFUSERS, GRILLES, INSULATION, HANGERS, SUPPORTS, ETC. SHOWN DASHED BEYOND THIS POINT.
7. EXISTING DUCTWORK TO REMAIN.
8. EXISTING KITCHEN HOOD SECTION TO REMAIN.
9. EXISTING WINDOW MOUNTED AIR CONDITIONING UNIT TO REMAIN.
10. EXISTING OUTDOOR AIR HANDLING UNIT AND ASSOCIATED COMPONENTS TO BE ABANDONED IN PLACE.
11. EXISTING 1-1/4" OR 3/4" LOW PRESSURE STEAM.
12. EXISTING DRIP RETURN VENT TO BE REMOVED.
13. EXISTING 2-1/2" MEDIUM PRESSURE STEAM SUPPLY AND 1-1/4" DRIP RETURN CONDENSATE TO REMAIN.
14. EXISTING 3" MEDIUM PRESSURE STEAM, 1-1/4" DRIP RETURN, AND BRANCH LINES TO KITCHEN EQUIPMENT.
15. EXISTING 5" CHW, 2" GLYCOL HOT WATER, 1-1/2" HW PIPING TO REMAIN. PROTECT DURING CONSTRUCTION.
16. EXISTING RADIATOR TO REMAIN.
17. EXISTING LOW PRESSURE STEAM RETURN LINE TO BE DEMOLISHED AND REROUTED TO FACILITATE NEW DESIGN.
18. REMOVE EXISTING RADIATOR AND ALL ASSOCIATED COMPONENTS. REFER TO ARCHITECTURAL DEMOLITION DRAWINGS INSTRUCTIONS TO PATCH AND REPAIR OPENING IN WALL. DEMOLISH PIPING BACK TO BASEMENT AND CAP AT MAIN.

GENERAL NOTES

- A. CLEAN AND SEAL ALL EXISTING DUCTWORK THAT WILL BE REUSED.
- B. CONTRACTOR SHALL REPAIR AND/OR REPLACE ALL INSULATION AT EXISTING SHEET METAL DUCTWORK WHICH BECOMES DAMAGED DURING CONSTRUCTION ACTIVITIES.
- C. DURING CONSTRUCTION, PROVIDE TEMPORARY CLOSURES ON ALL SUPPLY AND RETURN AIR DUCT OPENINGS BY SEALING WITH A DISPOSABLE POLYETHYLENE SHEETING TO PREVENT CONSTRUCTION DUST FROM ENTERING DUCTWORK SYSTEM OR AIR TERMINAL UNITS.
- D. ANY DUCTWORK THAT IS EXISTING TO REMAIN, WHETHER OR NOT SHOWN ON THESE DRAWINGS, THAT IS CRUSHED OR DAMAGED IN ITS CURRENT CONDITION OR AS A RESULT OF CONSTRUCTION, SHALL BE REPLACED WITH NEW.
- E. ALL ABANDONED OPENINGS TO BE CLOSED, REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS.
- F. REMOVE ALL ASSOCIATED CLAMPS, HANGERS, SUPPORTS, ETC., ASSOCIATED WITH PIPING REMOVAL.
- G. COORDINATE ALL MECHANICAL SERVICE OUTAGES WITH COR.
- H. CONTRACTOR IS RESPONSIBLE FOR ALL COST ASSOCIATED WITH CEILING SYSTEM DISASSEMBLY AND REASSEMBLY TO ACCOMMODATE WORK. CONTRACTOR TO SALVAGE, STORE, AND REINSTALL ALL CEILING MOUNTED DEVICES.
- I. CONTRACTOR IS RESPONSIBLE FOR ALL MODIFICATIONS TO THE EXISTING PIPING NECESSARY TO PERMIT THE INSTALLATION OF NEW WORK.
- J. PIPING MAY BE SHOWN OFFSET FROM ITS ACTUAL LOCATION FOR CLARITY. FIELD VERIFY EXACT LOCATIONS.



NORTH
 KEY PLAN BUILDING 4
 NTS

5	CONSTRUCTION BID DOCUMENTS	09/17/2021
4	CONSTRUCTION DOCUMENTS (CD - 100%)	06/03/2021
3	CONSTRUCTION DOCUMENTS (CD - 95%)	05/24/2021
2	DESIGN DEVELOPMENT (DD - 65%)	05/11/2021
1	SCHEMATIC DESIGN (SD - 35%)	04/29/2021
No	REVISION	DATE

ARCHITECT/ENGINEER OF RECORD

Bancroft
 BANCROFT ARCHITECTS + ENGINEERS

700 Nicholas Blvd, Suite 300
 Elk Grove Village, IL 60007
 T: 847.952.9362
 www.bancroft-a-e.com
 BAE PROJECT NO. 18-116

APPROVED PROJECT GDR	DATE:	APPROVED SERVICE LINE DIRECTOR	DATE:	APPROVED INFECTION CONTROL NURSE	DATE:
APPROVED GEN'S PROJECT MANAGER	DATE:	APPROVED PATIENT SAFETY	DATE:	APPROVED ASSOCIATE HEALTH CARE SYSTEM DIRECTOR	DATE:
APPROVED PROJECTS SECTION MANAGER	DATE:	APPROVED CHIEF OF POLICE	DATE:	APPROVED CHIEF OF STAFF	DATE:
APPROVED DIRECTOR PMS	DATE:	APPROVED SAFETY MANAGER	DATE:	APPROVED HEALTH CARE SYSTEM DIRECTOR	DATE:

DRAWING TITLE MECHANICAL DEMOLITION PLAN - FIRST FLOOR		PROJECT TITLE EHRM TRAINING + ADMINISTRATIVE SUPPORT SPACE		DATE: 09/17/2021
DATE:	PROJECT NO: 656-21-236	BUILDING NO: 4	DRAWN BY: RR	DWG. NO: MDI01
LOCATION: ST. CLOUD VAHCS ST. CLOUD, MN 56303		DATE: 09/17/2021		

VA

U.S. Department of Veterans Affairs
 Veterans Health Administration
 St. Cloud VA Health Care System

EHRM Training and Admin Space

RFI #019 – Follow Up to RFI #013 – ACM Materials- with Sampling Results



Trent Hagen
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2215 Sheyenne Street
West Fargo, ND 58078
thagen@mdmconst.com

To:

St. Cloud VAMC
Attn: Corey Self
4801 Veterans Dr, St Cloud, MN 56303

From:

MDM Construction LLC
2215 Sheyenne Street
West Fargo, ND 58078

Contract No: 36C77622C0072
Tel: 701-356-3956
Fax: 701-356-8798

Subject:

RFI No: 019
Date: 10/5/2022
Subject: Follow Up to RFI #013 – ACM Materials- with Sampling Results

Information Requested:

Please review the attached report with the asbestos sampling results as requested by the VA. Please also see the updates for each location as marked in RFI #013(updates in red).

- A- Appears to be an abandoned water line that is capped on the north side of the chase wall. Piping runs up through the floor and up 10'' then turns out of the north chase wall. **Line is abandoned at first floor level- unsure if there are additional take offs in basement- VA will need to confirm. ACM is detected- sample #20.**
- B- Appears to be an abandoned waste line that is capped on the north side of the chase wall. Piping runs up through the floor from the basement and up about 18'' then turns out of the North chase wall where it is capped. **Line is abandoned at first floor level- unsure if there are additional take offs in basement- VA will need to confirm. ACM is detected- sample #18 and #19.**
- C- Appears to be a steam line. Runs up from the basement roughly 9' then 45's back and runs above the North equipment hood. Line is assumed to be active yet. **Does appear to be an active steam line- will need the VA to confirm. Assumed to serve a convector on 2nd floor. ACM is detected- sample #16 and #17.**
- D- Appears to be a steam line. Runs up from the basement roughly 9' then 45's back and runs above the North equipment hood. Line is assumed to be active yet. **Does appear to be an active steam line- will need the VA to confirm. Assumed to serve a convector on 2nd floor. ACM is detected- sample #14 and #15.**

- E- Appears to be a domestic water line. Runs up from the basement to about 9'-6" then turns out of the column chase and heads to the South about 10', then 90's and heads West 4' **This lined does appear to be a cold domestic water line and does appear to be active yet- will need the VA to confirm. This line does have some dead legs run off of it. The elevation and routing of this line does impact the construction layout. ACM is detected- sample #12 and #13.**
- F- Appears to be an existing waste system for what was a bathroom in the past. The 3" waste piping runs and drops into a 4" waste riser in the B5 and C5 column chase. The 3" waste piping is covered with the ACM materials. Per a review with the COR, the bathroom on 2nd floor is no longer there as the space is now offices. These lines are assumed to not be active. **Lines are still assumed to be abandoned- will need the VA to confirm this. Elevation and routing of line does impact construction layout. ACM is detected- sample #10 and #11.**
- G- Domestic water. Water line runs up through the floor from the basement, line is active- not sure what it feeds to once heads to the West. **Line is active yet, elevation and location does impact construction layout. ACM detected- sample #8 and #9.**
- H- Domestic water. Water line runs up through the floor from the basement, line is active- not sure what it feeds to once heads to the West. **Line is active yet, elevation and location does impact construction layout. ACM is detected- sample #6 and #7.**
- I- Possibly abandoned domestic water line. The lines run up through the floor from the basement and follow up the column and appear to travel up to 2nd floor. Pipe J does appear to tie into this line about a foot below the deck of 2nd floor. This line as cut off in the basement. **Line is confirmed to be abandoned. No ACM detected- sample #4 and #5.**
- J- Possibly abandoned domestic water line. This line runs up through the floor from the basement and follows up the column. About 1' from the 2nd floor deck, this line appears to tie into pipe I. This line is cut off in the basement. **Line is confirmed to be abandoned. No ACM detected- sample #2 and #3.**
- K- Appears to be a domestic cold water line. Possibly a drinking fountain on 2nd floor? This line runs up from the basement through first floor and up to 2nd floor. This line appears to be active yet. Not sure if this line impacts the new desired layout. **Line is confirmed to be active yet. No ACM detected- sample #1.**

Please advise as to how we should proceed.

Feel free to reach out with any questions or items needed.

Thank you

October 4, 2022

Attn: Dave Notch
VCI Environmental Inc.

2040 N Ferry St.
Anoka, MN 55303
Phone 763.712.9502
www.techtronengineering.com

Project Location: 4801 Veterans Dr, St Cloud, MN 56303

Client Project #: Not Provided
Techtron Project #: 23563

Sampled by: Steve Bodnar
Date Sampled: 10/4/2022
Date Samples Received Laboratory: 10/4/2022

Analyzed by: Darren Gagné
Date Analyzed: 10/4/2022
Number of Samples Analyzed: 20

Test Report: Asbestos Bulk Materials Identification by PLM

Following are the results of material samples obtained for asbestos identification analysis. Samples were observed at 42X magnification and suspect fibers were isolated from the bulk samples for observation under polarized light microscopy. The fibers were then evaluated under polarized light microscopy for extinction angle, sign of elongation, and morphology. Dispersion staining was performed using Cargille dispersion oils to observe color changes of fibers at various orientations.

Analysis was performed according to EPA method 600/R-93/116. This method has a reporting limit to <1% asbestos, in volumetric concentrations. Bulk samples were checked for the following types of asbestiform minerals: chrysotile, amosite, crocidolite, anthophyllite, and tremolite-actinolite.

Laboratory procedures are in conformance with ISO/IEC 17025:2017 specifications.

All sample details and results are listed in the table below.



Theresa Erpelding
Laboratory Manager

Client Sample #	Lab Sample #	Sample Location	Material Description	Layers	Results
1	23563-1	Pipe K Run	Cork Pipe Insultaion with Black Mastic Layering		NAFD
2	23563-2	Pipe J Run	Cork Pipe Insultaion with Black Mastic Layering		NAFD
3	23563-3	Pipe J Elbow	Cork Pipe Insultaion with Black Mastic Layering		NAFD
4	23563-4	Pipe I Straight	Cork Pipe Insultaion with Black Mastic Layering		NAFD
5	23563-5	Pipe I Elbow	Cork Pipe Insultaion with Black Mastic Layering		NAFD
6	23563-6	Pipe H Run	Brown Pipe Insulation with Black Tar Layer		10% Chrysotile
7	23563-7	Pipe H Elbow	White Pipe Insulation		80% Amosite
8	23563-8	Pipe G Run	Brown Pipe Insulation with Black Tar Layer		10% Chrysotile
9	23563-9	Pipe G Elbow	White Powdery Pipe Insulation		80% Amosite
10	23563-10	Pipe F Elbow	White Powdery Pipe Insulation		60% Chrysotile
11	23563-11	Pipe F Run	Brown Pipe Insulation with White Powdery Layer		60% Chrysotile
12	23563-12	Pipe E Elbow	White Pipe Insulation		40% Crocidolite
13	23563-13	Pipe E Run	Brown Pipe Insulation with Cloth Covering		NAFD
14	23563-14	Pipe D Elbow	White Powdery Pipe Insulation with Cloth Covering		60% Amosite

NAFD = No Asbestos Fibers Detected

NAPS = Not Analyzed Positive Stop

*No asbestos was detected. However, due to the uncertainty with existing testing techniques for vermiculite insulation, the Environmental Protection Agency and Agency for Toxic Substances and Disease Registry strongly recommend that all vermiculite insulation be assumed to contain asbestos. Therefore, Techtron Engineering recommends that this material be assumed to contain asbestos in quantities less than one percent.

Reporting Limit: <1%. Some samples reported as NAFD may contain asbestos fibers in quantities below 1%. Detection limits are dependent upon the sample size, matrix, and any interferences that may be present in the sample. Point counting is recommended for samples that require more precise quantification when samples contain low volumes of asbestos fibers (i.e. 1-5%). Uncertainty data available in EPA 600 R-93 116. Results are based on field sampling information provided by the client and are only valid for samples tested. Samples are stored for 30 days unless other arrangements are made by the client. Samples received in good condition unless otherwise noted. This report shall not be reproduced except in full, without the written approval of Techtron Engineering. AIHA-LAP, LLC Lab #101106.

Client Sample #	Lab Sample #	Sample Location	Material Description	Layers	Results
15	23563-15	Pipe D Straight Run	White Powdery Pipe Insulation		80% Chrysotile
16	23563-16	Pipe C Elbow	White Pipe Insultaion with Cloth Covering		80% Chrysotile
17	23563-17	Pipe C Stright Run	White Powdery Pipe Insulation		80% Chrysotile
18	23563-18	Pipe B Straight Run	White Powdery Pipe Insulation		80% Chrysotile
19	23563-19	Pipe B Fitting	White Pipe Insultaion with Cloth Covering		80% Chrysotile
20	23563-20	Pipe A Fitting	White Pipe Insulation		80% Chrysotile

End of Report

NAFD = No Asbestos Fibers Detected
 NAPS = Not Analyzed Positive Stop

*No asbestos was detected. However, due to the uncertainty with existing testing techniques for vermiculite insulation, the Environmental Protection Agency and Agency for Toxic Substances and Disease Registry strongly recommend that all vermiculite insulation be assumed to contain asbestos. Therefore, Techtron Engineering recommends that this material be assumed to contain asbestos in quantities less than one percent.

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