

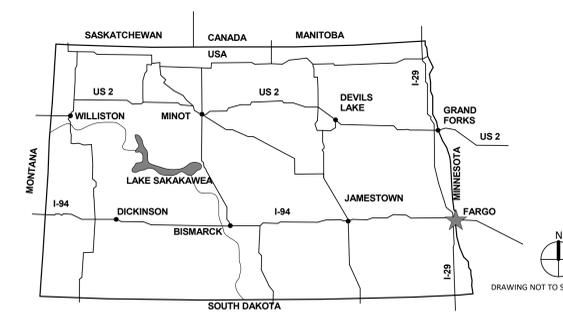
PROJECT NUMBER: 437-14-112

REPLACE BOILER PLANT

VETERANS ADMINISTRATION MEDICAL CENTER

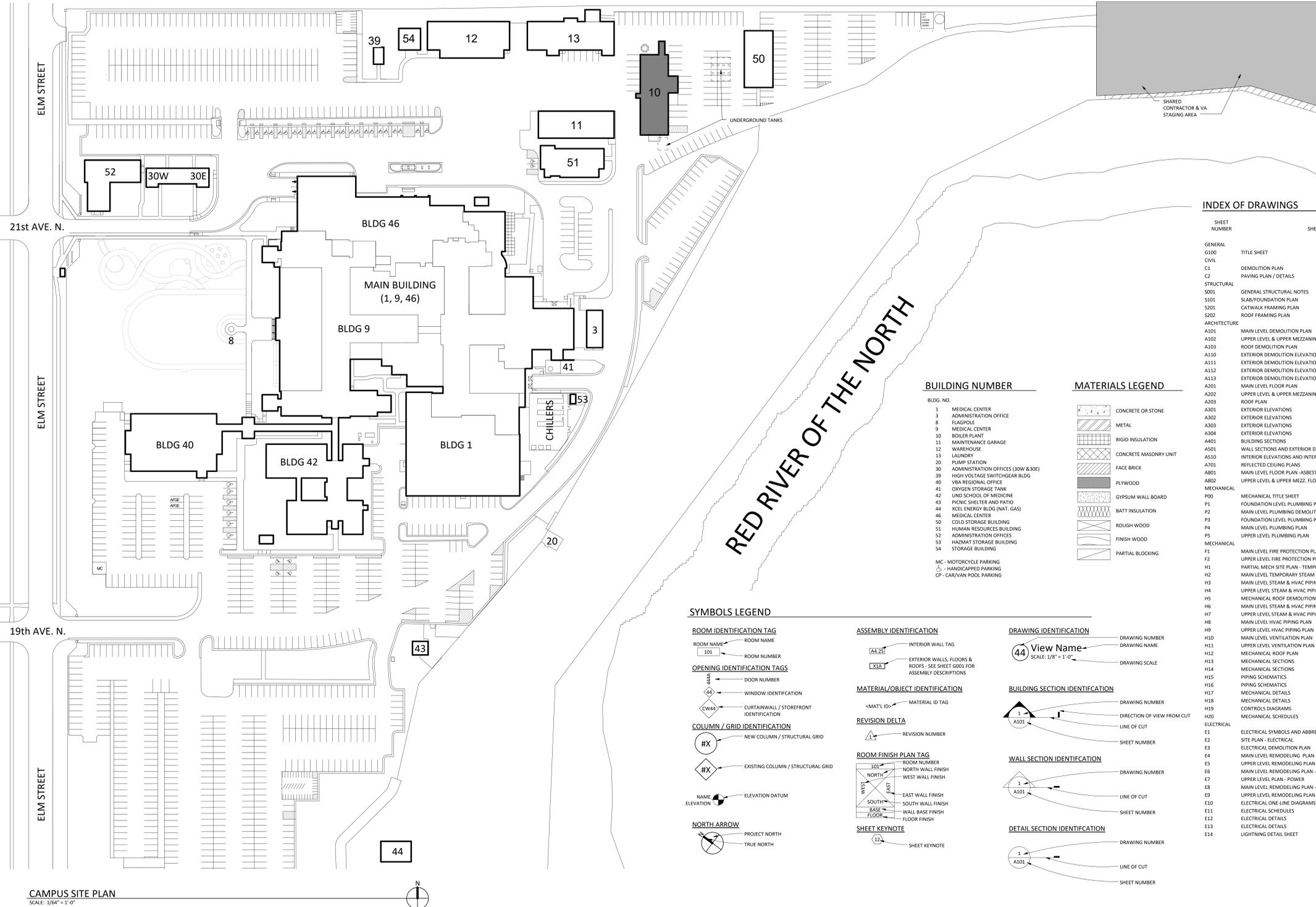
FARGO, NORTH DAKOTA

PROJECT VICINITY MAP - ND



GENERAL NOTES & CONDITIONS

- FIELD VERIFY ALL EXIST. CONDITIONS & DIMENSIONS BEFORE PROCEEDING WITH NEW CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DESIGN OR COORDINATION ISSUES DISCOVERED DURING FIELD VERIFICATION.
- WHERE EXIST. SURFACES ARE DAMAGED BY NEW CONSTRUCTION WORK, REPAIR & REFINISH TO MATCH ORIGINAL SURFACE IN APPEARANCE & QUALITY.
- IF SUSPICIOUS MATERIALS OR UNDOCUMENTED CONDITIONS ARE UNLEVELED BY WORK, COORDINATE TO CONTINUE WORK IN ADJACENT AREA AND IMMEDIATELY CONTACT ARCHITECT, ENGINEERS OF RECORD, AND V.A. PROJECT ENGINEER.
- CONTRACTOR SHALL STRICTLY ADHERE TO STATE AND FEDERAL OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS.
- IT IS RECOMMENDED AND ENCOURAGED THAT CONTRACTORS VISIT THE PROPOSED CONSTRUCTION SITE PRIOR TO SUBMITTING THEIR BIDS.
- ALL OWNER PROPERTY IS TO BE SAFEGUARDED FROM DAMAGE. ANY DAMAGED OWNER PROPERTY IS TO BE RESTORED TO ORIGINAL CONDITION PRIOR TO DAMAGE OR REPLACED COMPLETELY, INCLUDING INSTALLATION, LABOR AND PROCUREMENT EXPENSES.
- ALL DEMOLISHED OR WASTE MATERIAL BECOMES THE PROPERTY AND RESPONSIBILITY OF THE CONTRACTOR WITH THE EXCEPTION OF SPECIFIED ITEMS DESIGNATED EITHER IN THE PLANS OR VERBALLY REQUESTED BY THE V.A. PROJECT ENGINEER, CHIEF ENGINEER, AND/OR CONTRACTING OFFICER. OFFSITE DISPOSAL OF THE DEMOLISHED ITEMS IS THE RESPONSIBILITY OF THE CONTRACTOR.
- LOADERS MUST BE REMOVED AND LOCKED UP AT THE COMPLETION OF EACH WORKING DAY TO PREVENT UNAUTHORIZED PERSONS FROM HAVING ACCESS.
- CLEAN UP ALL DEBRIS FROM CONSTRUCTION SITE TO THE SATISFACTION OF THE SUPERINTENDENT AND OWNER OR OWNER'S REPRESENTATIVE. MAINTAIN DAILY CLEANLINESS TO SATISFACTION OF SUPERINTENDENT & OWNER/OWNER'S REPRESENTATIVE.
- ALL CONTRACTORS SHOULD NOTE THAT THE BUILDING IS NOT TO BE OCCUPIED DURING THE ENTIRE CONSTRUCTION TIMELINE. THE CONTRACTOR IS TO MEET ALL CURRENT SAFETY STANDARDS TO PROTECT THE CONTRACTOR & OWNER.
- ALL INTERIOR PARTITIONS ARE TO EXTEND FROM FLOOR TO BOTTOM OF FLOOR OR ROOF/AND OR DECK STRUCTURE ABOVE, UNLESS OTHERWISE NOTED.
- PROVIDE MINERAL FIBER ACOUSTIC INSULATION IN ALL INTERIOR STUD PARTITIONS THAT SEPARATE ROOMS OR SPACES. INSULATE FINISHED OUT EXTERIOR WALLS.
- CUTOUPS FOR MECHANICAL & ELECTRICAL WORK SHALL BE ACCOMPLISHED IN SUCH A MANNER THAT STANDARD EJECTION PLATES, COVERS, ETC. WILL COVER ROUGH OPENINGS. OVERSIZE OPENINGS SHALL BE REPAIRED TO MATCH ADJACENT SURFACES BY THE CONTRACTOR RESPONSIBLE FOR CUTOUPS.
- THE CONTRACTOR SHALL STRICTLY ADHERE TO THE FARGO VA MEDICAL CENTER PRE-CONSTRUCTION RISK ASSESSMENT (PCRA) REQUIREMENTS AND ALSO THE INFECTION CONTROL RISK MITIGATION (ICRM) REQUIREMENTS.
- ALL CONTRACTORS SHALL COORDINATE WITH VA ENGINEERING REGARDING ACCESS TO RESTRICTED OR DIFFICULT TO ACCESS AREAS.
- CONTRACTORS SHALL PLAN AND COORDINATE WITH ALL OTHER PROJECTS TAKING PLACE ON SITE. VERIFY AND COORDINATE WITH VAMC ENGINEERING.
- CONTRACTORS SHALL COORDINATE AS REQUIRED WITH ALL OTHER CONSTRUCTION ACTIVITIES AND CONTRACTORS ON CAMPUS AS WELL AS MODIFY LAYOUTS AS REQUIRED.
- THE CONTRACTOR SHALL PROVIDE CONSTRUCTION FENCING/BARRICADES AND SIGNAGE AROUND THE WORK AREAS AS REQUIRED TO KEEP THE GENERAL PUBLIC OUT OF THE CONSTRUCTION AREAS AND FOR THE SAFETY OF VA EMPLOYEES - REFER TO CONSTRUCTION FENCING PLAN.



- PHASING**
- PHASE 1 - TEMPORARY BOILERS & ELECTRICAL (8 MONITORING LOCATION)
 - PHASE 2 - DEMOLITION (DISPLACEMENT OF STAFF FROM BLDG.)
 - PHASE 3 - CONSTRUCTION
 - PHASE 4 - REMOVAL OF TEMPORARY.
- DEDUCT ALTERNATES**
- ALTERNATE 01 - OMIT NEW BLOWDOWN SEPARATOR.
 - ALTERNATE 02 - OMIT EPOXY FLOOR PAINT AT ALL LOCATIONS.
 - ALTERNATE 03 - OMIT NEW CERAMIC TILE WAINSCOT AT BATHROOM 203.
 - ALTERNATE 04 - OMIT RELINING EXISTING WASTE PIPING.
 - ALTERNATE 05 - OMIT NEW OPERABLE CLERESTORY WINDOWS.
 - ALTERNATE 06 - OMIT NEW INDOOR FUEL OIL STORAGE.
 - ALTERNATE 07 - REDUCE CATWALKS BY 50%.
 - ALTERNATE 08 - OMIT ALL NEW CASEWORK, REUSE EXISTING.
 - ALTERNATE 09 - OMIT NEW CONCRETE SLAB AT LOWER LEVEL.
 - ALTERNATE 10 - OMIT NEW FLUE GAS ECONOMIZERS.

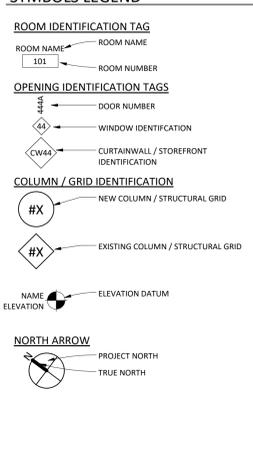
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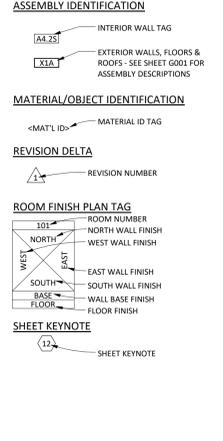
LIST OF ABBREVIATIONS

AVE	ARCHITECT/ENGINEER	GALV	GALVANIZED
AC	ALTERNATING CURRENT	GC	GENERAL CONTRACTOR
ACI	AMERICAN CONCRETE INSTITUTE	GEN	GENERAL
ACM	ASBESTOS CONTAINING MATERIAL	GL	GLASS OR GLAZING
ACT	ACOUSTICAL CEILING TILE	GWB	GYPSPUM WALL BOARD
ADA	AMERICAN DISABILITIES ACT	HB	HIDE BIB
AFB	ABOVE FINISH FLOOR	HCP	HANDICAP
AHU	AIR HANDLING UNIT	HDW	HARDWARE
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	HDWD	HARDWOOD
ALT	ALTERNATE	HM	HOLLOW METAL
ALUM	ALUMINUM	HRD	HORIZONTAL
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	HT	HEIGHT
ARCH	ARCHITECT	IBC	INTERNATIONAL BUILDING CODE
ASI	ARCHITECTURAL SUPPLEMENTAL INSTRUCTION	INSUL	INSULATION
AWI	AMERICAN WOODWORKING INSTITUTE	JAN	JANITOR
BD	BOARD	LAM	LAMINATE
BLDG	BUILDING	LAV	LAVATORY
BM	BEAM	MAS	MASONRY
BOT	BOTTOM	MB	MARKERBOARD
BRG	BEARING	MDF	MEDIUM DENSITY FIBERBOARD
BTU	BRITISH THERMAL UNITS	MEC	MECHANICAL
BUR	BUILT UP ROOFING	MH	MANHOLE
CAB	CABINET	ML	MATCHLINE
CB	CATCH BASIN	MTL	METAL
CG	CORNER GUARD	MTL	METAL STUD
CI	CAST IRON	STD	STANDARD
CP	CAST IN PLACE	NC	NON COMBUSTIBLE
CJ	CONTROL JOINT	NTI	NOT IN CONTRACT
CLG	CEILING	NOM	NOMINAL
CLR	CLEAR	NTS	NOT TO SCALE
CMU	COMMON MASONRY UNIT	OC	ON CENTER
CDO	CLEAN OUT	OSB	ORIENTED STRAND BOARD
CONC	CONCRETE	PB	PARTICLE BOARD
CPT	CARPET	PC	PRECAST
CSMT	CASEMENT	PLAM	PLASTIC LAMINATE
CSWK	CASEWORK	PLAST	PLASTER
CT	CERAMIC TILE	PLYWD	PLYWOOD
CUH	CABINET UNIT HEATER	PREV	PREVIOUS
CWT	CERAMIC WALL TILE	PT	PAINT
DEMO	DEMOLITION	PTD	PAPER TOWEL DISPENSER
DEPT	DEPARTMENT	RAD	RADIUS
DF	DRINKING FOUNTAIN	REINF	REINFORCEMENT
DIA	DIAMETER	REQD	REQUIRED
DIAG	DIAGONAL	REV	REVERSE
DM	DIMENSION	RM	ROOM
DIST	DISTANCE	ROC	ROUGH OPENING
DOC	DOCUMENT	RTU	ROOF TOP UNIT
DR	DOOR	SD	SMOKE DETECTOR
DTL	DETAIL	SECT	SECTION
DW	DISHWASHER	SHT	SHEET
DWG	DRAWING	SIM	SIMILAR
EA	EACH	SPD	SOAP DISPENSER
EFS	EXTERIOR INSULATION FINISH SYSTEM	SPEC	SPECIFICATIONS
EJ	EXPANSION JOINT	SQ	SQUARE
ELEC	ELECTRIC	SLSP	SLUSP
ELEV	ELEVATION/ELEVATION	TC	THIN COAT
EP	EPOXY PAINT	TEMP	TEMPORARY/TEMPERATURE
EQ	EQUAL	TO	TOP OF
EQUIP	EQUIPMENT	TP	TOILET PARTITIONS
EWC	ELECTRIC WATER COOLER	TPD	TOILET PAPER DISPENSER
EXIST	EXISTING	TRTD	TREATED
EXT	EXTERIOR	TS	TRANSITION STRIP
FD	FLOOR DRAIN	TYP	TYPICAL
FEC	FIRE EXTINGUISHER CABINET	UL	UNDERWRITERS' LABORATORIES
FF	FINISH FLOOR	UNO	UNLESS NOTED OTHERWISE
FFE	FURNITURE, FIXTURE, AND EQUIPMENT	VC	VA FURNISHED CONTRACTOR INSTALLED
FG	FIRE HOSE CABINET	VCT	VINYL COMPOSITION TILE
FIN	FINISH	VV	VA FURNISHED VA INSTALLED
FLR	FLOOR	WD	WOOD
WITH	WITH	WDW	WINDOW
FND	FOUNDATION		
FTG	FOOTING		
FWC	FABRIC WALL COVERING		

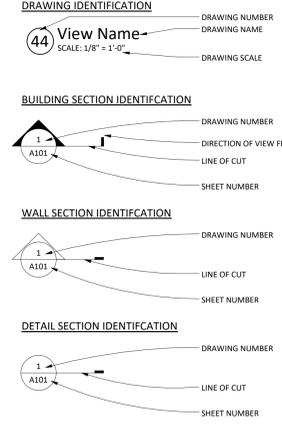
SYMBOLS LEGEND



ASSEMBLY IDENTIFICATION



DRAWING IDENTIFICATION



CAMPUS SITE PLAN
SCALE: 1/64" = 1'-0"

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Drawing Title: REPLACE BOILER PLANT		Date: 10.26.2018
Project Phase: 100% CONSTRUCTION DOCUMENT		Scale: As indicated
VA Project No: 437-14-112	Contract No: VA263-P-1218	Designed By: MS
	VA263	Checked By: TM
Building No: 10 - BOILER PLANT	Elec. Dwg Name: G100.DWG	Drawn By: AW
Location: FARGO VA HEALTH CARE SYSTEM FARGO, NORTH DAKOTA		Drawing No: G100
		Dwg. 1 of 69

Department of Veterans Affairs

DEMOLITION LEGEND

---	EXISTING TO BE REMOVED.
▨	EXISTING TO REMAIN.
▧	EXISTING TO BE REMOVED.
▩	EXISTING TRENCH DRAIN TO REMAIN

ALL DEMOLITION WORK REQUIRED IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON THE DEMOLITION PLANS. THE INTENT IS TO REMOVE ALL MECHANICAL, ELECTRICAL AND ARCHITECTURAL ITEMS NOT NEEDED OR REUSED AS REQUIRED TO FACILITATE NEW CONSTRUCTION.

REFER TO FINISH SCHEDULE FOR ADDITIONAL FINISH WORK REQUIRED IN OTHER AREAS THAT ARE NOT DOCUMENTED TO RECEIVE ANY DEMOLITION/REMOVAL WORK AS INDICATED ON DEMOLITION PLANS (TYPICAL).

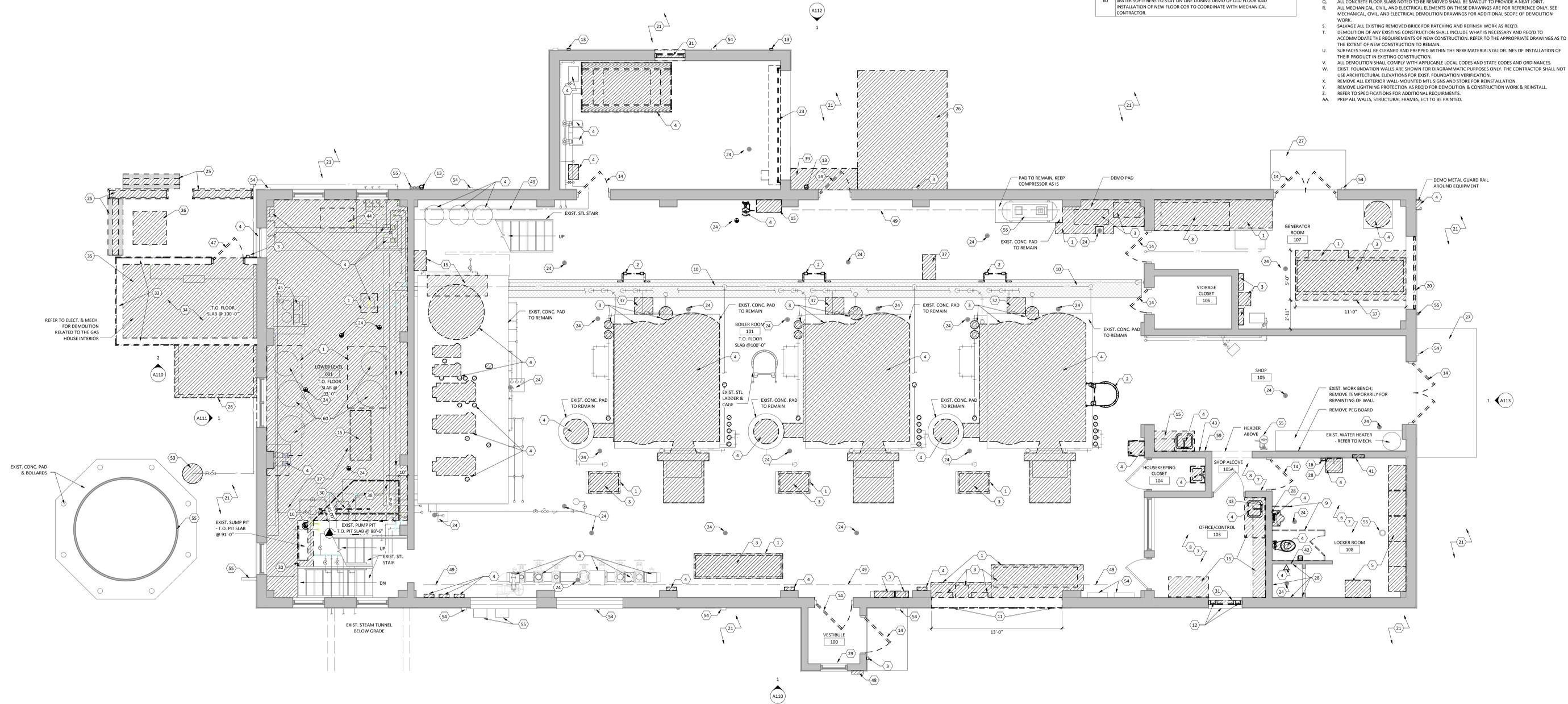
DEMOLITION PLAN KEYNOTES

NO.	NOTE
1	REMOVE EXISTING CONCRETE PAD.
2	REMOVE EXISTING STEEL LADDER IN ITS ENTIRETY.
3	REMOVE EXISTING ELECTRICAL EQUIPMENT - REFER TO ELECTRICAL.
4	REMOVE EXISTING MECHANICAL EQUIPMENT - REFER TO MECHANICAL.
5	REMOVE EXISTING LOCKERS AND SALVAGE OR DISPOSE OF FOR OWNER. REMOVE EXISTING LOCKER BASE.
6	REMOVE EXISTING FLOOR TILE AND BASE.
7	REMOVE EXISTING CEILING TILE AND GRID SYSTEM.
8	REMOVE EXISTING VCT FLOOR AND BASE.
9	REMOVE EXISTING TOILET PARTITION & ATTACHED TOILET ACCESSORIES.
10	EXISTING TRENCH DRAIN - REFER TO MECHANICAL.
11	REMOVE EXISTING BRICK WALL FOR NEW STOREFRONT OPENING. REMOVE EXISTING WINDOW LINTEL & SILL. SHORE BRICK AS REQUIRED - REFER TO STRUCTURAL.
12	REMOVE EXISTING WINDOW HUNG AIR CONDITIONER.
13	REMOVE EXISTING DOWNSPOUT & ROOF SCUPPER. REMOVE & CAP EXISTING ABOVE-GRADE STORMWATER CONNECTION - REFER TO CIVIL.
14	REMOVE EXISTING DOOR & DOOR HARDWARE. PREP. EXISTING HM FRAME FOR NEW DOOR.
15	REMOVE EXISTING CASEWORK & ANY ASSOCIATED SINK ACCESSORIES.
16	REMOVE EXISTING SOAP DISPENSER, PAPER TOWEL DISPENSER, MIRROR, & TOWEL BAR.
17	REMOVE EXISTING ROOF MEMBRANE IN ITS ENTIRETY & TOP LAYER OF RIGID INSULATION IN PREPARATION FOR NEW INSULATION & ROOF MEMBRANE.
18	REMOVE EXISTING ROOF SCUPPER FLASHING IN ITS ENTIRETY.
19	REMOVE EXISTING PARAPET COUNTER-FLASHING, TERMINATION BARS, & MEMBRANE FOR NEW ROOFING MEMBRANE INSTALLATION.
20	REMOVE EXISTING WALL LOUVER IN ITS ENTIRETY.
21	REMOVE EXISTING ASPHALT AND EARTH IN PREPARATION FOR NEW PAVING - REFER TO CIVIL.
22	REMOVE EXISTING OH DOOR, TRACKS, SPRINGS, & MOTOR IN THEIR ENTIRETY. REMOVE EXIST. STL JAMBS IN THEIR ENTIRETY. EXISTING STEEL LINTEL TO REMAIN.
24	EXISTING FLOOR DRAIN - REFER TO MECHANICAL.
25	REMOVE EXISTING BARRICADES & PARKING CURBS AND SALVAGE FOR OWNER.
26	REMOVE EXISTING CONC. PAD AND/OR CURB - REFER TO CIVIL.
27	EXISTING CONCRETE STOOP

DEMOLITION PLAN KEYNOTES

NO.	NOTE
28	REMOVE EXISTING WALL TILE. REMOVE PLUMBING FIXTURES AS REQ'D. FOR REMOVAL OF EXISTING WALL TILE & INSTALLATION OF NEW WALL TILE.
29	REMOVE EXISTING TI-OFF PLATE AND SALVAGE TO PLACE BACK IN CURRENT LOCATION AFTER COMPLETED WORK.
30	REMOVE EXISTING GUARD RAIL.
31	REMOVE EXISTING WDW.
33	REMOVE EXISTING EXTERIOR BRICK WALLS & ASSOCIATED FOUNDATION WALLS AND FOOTINGS IN THEIR ENTIRETY FOR NEW PAVING.
34	REMOVE EXISTING GAS HOUSE FLOOR IN ITS ENTIRETY.
35	CONTRACTOR TO COORDINATE RELOCATION OF GAS AND PROPANE CONNECTIONS WITH OWNER & APPLICABLE UTILITY COMPANIES.
36	REMOVE EXISTING GAS HOUSE CAST IN PLACE ROOF AND CEILING STRUCTURE IN ITS ENTIRETY.
37	REMOVE EXISTING CONCRETE FLOOR SLAB ON GRADE.
38	REMOVE EXISTING PIT WALLS AS REQ'D. & EXCAVATE FOR NEW ENLARGED PIT.
39	REMOVE EXISTING CONCRETE STOOP.
40	REMOVE EXISTING INSUL. AND PREP. FOR INSTALLATION OF ROOF DRAIN.
41	REMOVE EXISTING RECESSED TRASH RECEPTACLE AND PATCH OPENING WITH CMU SMOOTH & LEVEL. TO WALL FOR ACCEPTANCE OF NEW WALL TILE.
42	REMOVE EXISTING GRAB BAR & SALVAGE FOR REINSTALLATION OVER NEW WALL TILE.
43	REMOVE EXISTING SOAP DISPENSER.
44	REMOVE EXISTING PIT, FILL, & PREP. FOR NEW FLOOR SLAB.
45	TEMPORARILY LIFT TANK PUMPS FOR REMOVAL OF EXISTING CONC. SLAB.
47	REMOVE EXISTING DOOR IN ITS ENTIRETY.
48	EXISTING MAILBOX REMOVE AND REINSTALL AFTER WORK IS COMPLETED.
49	EXISTING WINDOW OPERATOR SYSTEM TO REMAIN
50	REMOVE EXISTING INSULATION ENTIRELY DOWN TO EXISTING ROOF DECK TO ACCOMMODATE INSTALLATION OF NEW GUARDRAIL.
52	REMOVE EXISTING MECHANICAL PLATFORM/CATWALK AS NOTED.
53	EXISTING PROPANE TANK TO BE REMOVED AND PLACED BACK AFTER SITE WORK IS COMPLETED.
54	EXISTING ELECTRICAL EQUIPMENT TO REMAIN - REFER TO ELECTRICAL.
55	EXISTING MECHANICAL EQUIPMENT TO REMAIN - REFER TO MECHANICAL.
58	MECHANICAL PIPING AND RUNS - REFER TO MECHANICAL.
59	EXISTING FIRE PHONE TO REMAIN - REFER TO ELECTRICAL.
60	WATER SOFTENERS TO STAY ON LINE DURING DEMO OF OLD FLOOR AND INSTALLATION OF NEW FLOOR COR TO COORDINATE WITH MECHANICAL CONTRACTOR.

- ### DEMOLITION GENERAL NOTES
- ALL CONTRACTORS SHOULD NOTE THAT THE BUILDING IS NOT TO BE OCCUPIED DURING THE ENTIRE CONSTRUCTION TIMELINE. THE CONTRACTOR IS TO MEET ALL CURRENT SAFETY STANDARDS TO PROTECT THE CONTRACTOR & OWNER.
 - OWNER WILL OCCUPY EXTERIOR BOILER TRAILERS IMMEDIATELY ADJACENT TO THE CONSTRUCTION SITE. CONDUCT SELECTIVE DEMOLITION WORK IN MANNER THAT WILL MINIMIZE NEED FOR DISRUPTION OF OWNER'S OPERATION OF TRAILER BOILERS. REFER TO SPECIFICATIONS FOR MINIMUM ADVANCE NOTICE TO OWNER.
 - PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION TO PROTECT OWNER'S PERSONNEL AND GENERAL PUBLIC FROM INJURY DUE TO SELECTIVE DEMOLITION WORK.
 - PROTECT FROM DAMAGE EXISTING FINISH WORK THAT IS TO REMAIN IN PLACE AND BECOME EXPOSED DURING DEMOLITION OPERATIONS.
 - PROTECT FLOORS WITH SUITABLE COVERING WHEN NECESSARY.
 - REMOVE AND PROTECT FURNITURE, EQUIPMENT, OR FIXTURES FROM SOilage OR DAMAGE WHEN DEMOLITION WORK IS PERFORMED IN AREAS WHERE SUCH ITEMS HAVE NOT BEEN REMOVED.
 - PRIOR TO CUTTING EXISTING CONSTRUCTION, LOCATE AND IDENTIFY SERVICES TO REMAIN IN OPERATION, INCLUDING ALL FLOOR PENETRATIONS. UNDOCUMENTED CONDITIONS, UTILITY RISERS, ETC. AND ANY WALLS THAT CONTAIN LIFE SAFETY VERTICAL RISERS THAT MUST REMAIN IN OPERATION DURING THE DEMOLITION WORK.
 - CONTRACTOR SHALL VERIFY ALL EXISTING BUILDING DIMENSIONS, PARTITION AND WALL LOCATIONS AND FLOOR ELEVATIONS IN FIELD AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BEFORE THE START OF WORK.
 - WHEN UNANTICIPATED MECHANICAL, ELECTRICAL, OR STRUCTURAL ELEMENTS THAT CONFLICT WITH INTENDED FUNCTION OF DESIGN ARE ENCOUNTERED, INVESTIGATE AND MEASURE BOTH NATURE AND EXTENT OF THE CONFLICT AND NOTIFY OWNER'S REPRESENTATIVE.
 - MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING DEMOLITION OPERATIONS. DO NOT INTERRUPT UTILITIES SERVING OCCUPIED OR USED FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION.
 - WHERE DEMOLITION IS REQ'D BEYOND THE LIMITS OF THE CONTRACT TO ROUTE NEW DUCTWORK, PIPING, CONDUITS, ETC. ALL FINISHES DAMAGED BY THE WORK SHALL BE RESTORED TO THEIR ORIGINAL CONDITION. REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQ'D. RETURN ELEMENTS OF CONSTRUCTION AND SURFACES TO REMAIN, TO THE CONDITION EXISTING PRIOR TO START OF OPERATIONS. REPAIR ADJACENT CONSTRUCTION OR SURFACES SOILED OR DAMAGED BY SELECTIVE DEMOLITION.
 - PROVIDE SHIELDING, BRACING AND ANY OTHER MEANS REQ'D TO PROTECT AND MAINTAIN THE SAFETY, INTEGRITY AND STABILITY OF ALL EXISTING AND NEW CONSTRUCTION.
 - WHEN ROOFING, GLAZING, FLASHING, COPING OR PORTIONS OF EXTERIOR WALLS ARE REMOVED OR OPENED, SUITABLE WEATHER PROTECTION SHALL BE PROVIDED AND MAINTAINED FOR THE DURATION OF WORK.
 - REMOVAL OF ITEMS NOTED INCLUDES REMOVAL OF ANCHORS, ADHESIVES, HARDWARE, CONDUIT, WIRE, PIPING, ETC. FOR A COMPLETE REMOVAL OF THE ITEMS OR SYSTEMS.
 - WHEREVER WATER CLOSETS, FLOOR SINKS OR OTHER EQUIPMENT AND RELATED PIPING ARE TO BE REMOVED, PATCH FLOOR SLAB W/ CONCRETE AS REQUIRED.
 - ALL CONCRETE FLOOR SLABS NOTED TO BE REMOVED SHALL BE SAWCUT TO PROVIDE A NEAT JOINT.
 - ALL MECHANICAL, CIVIL, AND ELECTRICAL ELEMENTS ON THESE DRAWINGS ARE FOR REFERENCE ONLY. SEE MECHANICAL, CIVIL, AND ELECTRICAL DEMOLITION DRAWINGS FOR ADDITIONAL SCOPE OF DEMOLITION WORK.
 - SALVAGE ALL EXISTING REMOVED BRICK FOR PATCHING AND REFINISH WORK AS REQ'D.
 - DEMOLITION OF ANY EXISTING CONSTRUCTION SHALL INCLUDE WHAT IS NECESSARY AND REQ'D TO ACCOMMODATE THE REQUIREMENTS OF NEW CONSTRUCTION. REFER TO THE APPROPRIATE DRAWINGS AS TO THE EXTENT OF NEW CONSTRUCTION TO REMAIN.
 - SURFACES SHALL BE CLEANED AND PREPARED WITHIN THE NEW MATERIALS GUIDELINES OF INSTALLATION OF THEIR PRODUCT IN EXISTING CONSTRUCTION.
 - ALL DEMOLITION SHALL COMPLY WITH APPLICABLE LOCAL CODES AND STATE CODES AND ORDINANCES.
 - EXIST. FOUNDATION WALLS ARE SHOWN FOR DIAGNOSTIC PURPOSES ONLY. THE CONTRACTOR SHALL NOT USE ARCHITECTURAL ELEVATIONS FOR EXIST. FOUNDATION VERIFICATION.
 - REMOVE ALL EXTERIOR WALL-MOUNTED MTL SIGNS AND STORE FOR REINSTALLATION.
 - REMOVE LIGHTNING PROTECTION AS REQ'D FOR DEMOLITION & CONSTRUCTION WORK & REINSTALL.
 - REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
 - PREP ALL WALLS, STRUCTURAL FRAMES, ECT TO BE PAINTED.



1 MAIN LEVEL DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

Submital	Date
C.D. 5 (100% SIGNED) SUBMITTAL	10/26/2018
C.D. 4 (100%) SUBMITTAL	06/01/2018
D.D. 3 (99%) SUBMITTAL	10/20/2017
D.D. 2 (50%) SUBMITTAL	03/03/2017
D.D. 1 (35%) SUBMITTAL	09/30/2016
D.D. 1 SUBMITTAL (PRELIM)	02/16/2016
S.D. 1 SUBMITTAL	12/30/2015

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I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF NORTH DAKOTA

TODD MEDD 2438 10.26.2018
REG. NO DATE

Drawing Title: MAIN LEVEL DEMOLITION PLAN		Project Title: REPLACE BOILER PLANT		Date: 10.26.2018
Project Phase: 100% CONSTRUCTION DOCUMENT		Contract No.: VA263-P-1218		Scale: 1/4" = 1'-0"
VA Project No.: 437-14-112	Contract No.: VA263	Designed By: MS	Checked By: TM	Drawing No.: A101
Building No.: 10 - BOILER PLANT	Exec. Draw Name: A101.DWG	Location: FARGO VA HEALTH CARE SYSTEM	Drawn By: AW	Dwg. 8 of 69

Department of Veterans Affairs

DEMOLITION LEGEND

---	EXISTING TO BE REMOVED.
---	EXISTING TO REMAIN.
///	EXISTING TO BE REMOVED.
///	EXISTING TRENCH DRAIN TO REMAIN

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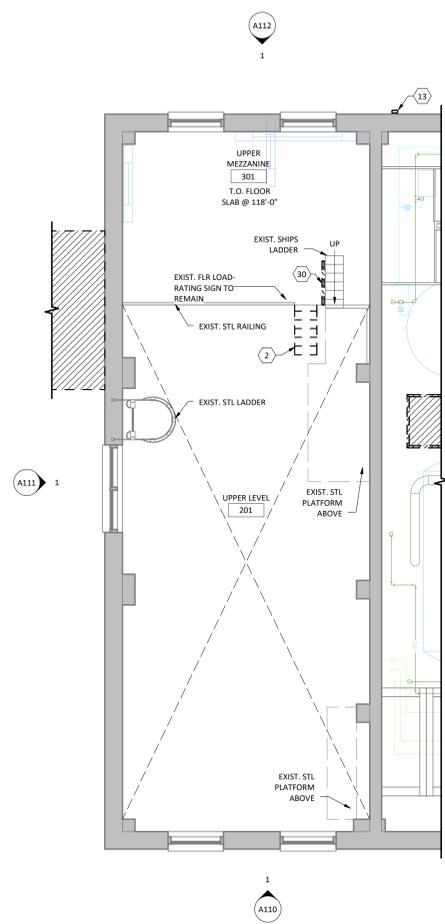
DEMOLITION PLAN KEYNOTES

NO.	NOTE
1	REMOVE EXISTING CONCRETE PAD.
2	REMOVE EXISTING STEEL LADDER IN ITS ENTIRETY.
3	REMOVE EXISTING ELECTRICAL EQUIPMENT - REFER TO ELECTRICAL.
4	REMOVE EXISTING MECHANICAL EQUIPMENT - REFER TO MECHANICAL.
5	REMOVE EXISTING LOCKERS AND SALVAGE OR DISPOSE OF FOR OWNER. REMOVE EXISTING LOCKER BASE.
6	REMOVE EXISTING FLOOR TILE AND BASE.
7	REMOVE EXISTING CEILING TILE AND GRID SYSTEM.
8	REMOVE EXISTING VCT FLOOR AND BASE.
9	REMOVE EXISTING TOILET PARTITION & ATTACHED TOILET ACCESSORIES.
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11	REMOVE EXISTING BRICK WALL FOR NEW STOREFRONT OPENING. REMOVE EXISTING WINDOW Lintel & SILL SHORE BRICK AS REQUIRED - REFER TO STRUCTURAL.
12	REMOVE EXISTING WINDOW HUNG AIR CONDITIONER.
13	REMOVE EXISTING DOWNSPOUT & ROOF SCUPPER. REMOVE & CAP EXISTING ABOVE-GRADE STORMWATER CONNECTION - REFER TO CIVIL.
14	REMOVE EXISTING DOOR & DOOR HARDWARE. PREP. EXISTING HM FRAME FOR NEW DOOR.
15	REMOVE EXISTING CASEWORK & ANY ASSOCIATED SINK ACCESSORIES.
16	REMOVE EXISTING SOAP DISPENSER, PAPER TOWEL DISPENSER, MIRROR, & TOWEL BAR.
17	REMOVE EXISTING ROOF MEMBRANE IN ITS ENTIRETY & TOP LAYER OF RIGID INSULATION IN PREPARATION FOR NEW INSULATION & ROOF MEMBRANE.
18	REMOVE EXISTING ROOF SCUPPER FLASHING IN ITS ENTIRETY.
19	REMOVE EXISTING PARAPET COUNTER-FLASHING, TERMINATION BARS, & MEMBRANE FOR NEW ROOFING MEMBRANE INSTALLATION.
20	REMOVE EXISTING WALL LOUVER IN ITS ENTIRETY.
21	REMOVE EXISTING ASPHALT AND EARTH IN PREPARATION FOR NEW PAVING - REFER TO CIVIL.
22	REMOVE EXISTING OH DOOR, TRACKS, SPRINGS, & MOTOR IN THEIR ENTIRETY. REMOVE EXIST. STL JAMBS IN THEIR ENTIRETY. EXISTING STEEL LINTEL TO REMAIN.
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25	REMOVE EXISTING BARRICADES & PARKING CURBS AND SALVAGE FOR OWNER.
26	REMOVE EXISTING CONC. PAD AND/OR CURB - REFER TO CIVIL.
27	EXISTING CONCRETE SToop

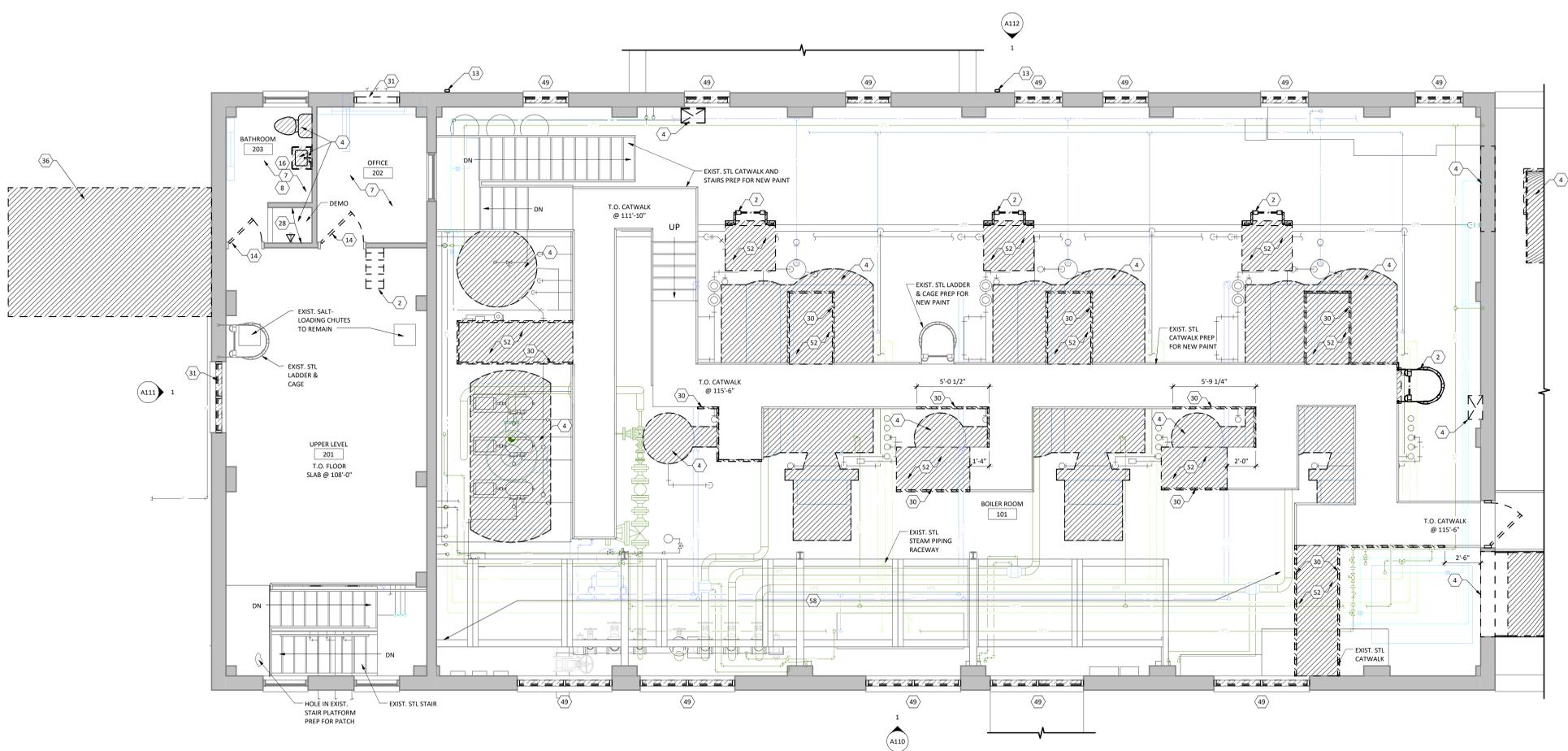
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30	REMOVE EXISTING GUARD RAIL.
31	REMOVE EXISTING WINDOW.
33	REMOVE EXISTING EXTERIOR BRICK WALLS & ASSOCIATED FOUNDATION WALLS AND FOOTINGS IN THEIR ENTIRETY FOR NEW PAVING.
34	REMOVE EXISTING GAS HOUSE FLOOR IN ITS ENTIRETY.
35	CONTRACTOR TO COORDINATE RELOCATION OF GAS AND PROPANE CONNECTIONS WITH OWNER & APPLICABLE UTILITY COMPANIES.
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45	TEMPORARILY LIFT TANK PUMPS FOR REMOVAL OF EXISTING CONC. SLAB.
47	REMOVE EXISTING DOOR IN ITS ENTIRETY.
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49	EXISTING WINDOW OPERATOR SYSTEM TO REMAIN
50	REMOVE EXISTING INSULATION ENTIRELY DOWN TO EXISTING ROOF DECK TO ACCOMMODATE INSTALLATION OF NEW GUARDRAIL.
52	REMOVE EXISTING MECHANICAL PLATFORM CATWALK AS NOTED.
53	EXISTING PROPANE TANK TO BE REMOVED AND PLACED BACK AFTER SITE WORK IS COMPLETED.
54	EXISTING ELECTRICAL EQUIPMENT TO REMAIN - REFER TO ELECTRICAL.
55	EXISTING MECHANICAL EQUIPMENT TO REMAIN - REFER TO MECHANICAL.
58	MECHANICAL PIPING AND RUNS - REFER TO MECHANICAL.
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- ALL CONTRACTORS SHOULD NOTE THAT THE BUILDING IS NOT TO BE OCCUPIED DURING THE ENTIRE CONSTRUCTION TIMELINE. THE CONTRACTOR IS TO MEET ALL CURRENT SAFETY STANDARDS TO PROTECT THE CONTRACTOR & OWNER.
 - OWNER WILL OCCUPY EXTERIOR BOILER TRAILERS IMMEDIATELY ADJACENT TO THE CONSTRUCTION SITE. CONDUCT SELECTIVE DEMOLITION WORK IN MANNER THAT WILL MINIMIZE NEED FOR DISRUPTION OF OWNER'S OPERATION OF TRAILER BOILERS. REFER TO SPECIFICATIONS FOR MINIMUM ADVANCE NOTICE TO OWNER.
 - PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION TO PROTECT OWNER'S PERSONNEL AND GENERAL PUBLIC FROM INJURY DUE TO SELECTIVE DEMOLITION WORK.
 - PROTECT FROM DAMAGE EXISTING FINISH WORK THAT IS TO REMAIN IN PLACE AND BECOME EXPOSED DURING DEMOLITION OPERATIONS.
 - PROTECT FLOORS WITH SUITABLE COVERING WHEN NECESSARY.
 - COVER AND PROTECT FURNITURE, EQUIPMENT, AND FIXTURES FROM SOilage OR DAMAGE WHEN DEMOLITION WORK IS PERFORMED IN AREAS WHERE SUCH ITEMS HAVE NOT BEEN REMOVED. PRIOR TO CUTTING EXISTING CONSTRUCTION, LOCATE AND IDENTIFY SERVICES TO REMAIN IN OPERATION, INCLUDING ALL FLOOR PENETRATIONS. UNDOCUMENTED CONDITIONS, UTILITY RISERS, ETC. AND ANY WALLS THAT CONTAIN LIFE SAFETY VERTICAL RISERS THAT MUST REMAIN IN OPERATION DURING THE DEMOLITION WORK.
 - CONTRACTOR SHALL VERIFY ALL EXISTING BUILDING DIMENSIONS, PARTITION AND WALL LOCATIONS AND FLOOR ELEVATIONS IN FIELD AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BEFORE THE START OF WORK.
 - WHEN UNANTICIPATED MECHANICAL, ELECTRICAL, OR STRUCTURAL ELEMENTS THAT CONFLICT WITH INTENDED FUNCTION OF DESIGN ARE ENCOUNTERED, INVESTIGATE AND MEASURE BOTH NATURE AND EXTENT OF THE CONFLICT AND NOTIFY OWNER'S REPRESENTATIVE.
 - MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING DEMOLITION OPERATIONS. DO NOT INTERRUPT UTILITIES SERVING OCCUPIED OR USED FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION.
 - WHERE DEMOLITION IS REQ'D BEYOND THE LIMITS OF THE CONTRACT TO ROUTE NEW DUCTWORK, PIPING, CONDUITS, ETC., ALL FINISHES DAMAGED BY THE WORK SHALL BE RESTORED TO THEIR ORIGINAL CONDITION. REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQ'D. RETURN ELEMENTS OF CONSTRUCTION AND SURFACES TO REMAIN, TO THE CONDITION EXISTING PRIOR TO START OF OPERATIONS. REPAIR ADJACENT CONSTRUCTION OR SURFACES SOILED OR DAMAGED BY SELECTIVE DEMOLITION.
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 - PROVIDE SHORING, BRACING AND ANY OTHER MEANS REQ'D TO PROTECT AND MAINTAIN THE SAFETY, INTEGRITY AND STABILITY OF ALL EXISTING AND NEW CONSTRUCTION.
 - WHEN ROOFING, GLAZING, FLASHING, COPING OR PORTIONS OF EXTERIOR WALLS ARE REMOVED OR OPENED, SUITABLE WEATHER PROTECTION SHALL BE PROVIDED AND MAINTAINED FOR THE DURATION OF WORK.
 - REMOVAL OF ITEMS NOTED INCLUDES REMOVAL OF ANCHORS, ADHESIVES, HARDWARE, CONDUIT, WIRE, PIPING, ETC. FOR A COMPLETE REMOVAL OF THE ITEMS OR SYSTEMS.
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 - SALVAGE ALL EXISTING REMOVED BRICK FOR PATCHING AND REFINISH WORK AS REQ'D.
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 - EXIST. FOUNDATION WALLS ARE SHOWN FOR DIAGRAMMATIC PURPOSES ONLY. THE CONTRACTOR SHALL NOT USE ARCHITECTURAL ELEVATIONS FOR EXIST. FOUNDATION VERIFICATION.
 - REMOVE ALL EXTERIOR WALL-MOUNTED MTL SIGNS AND STORE FOR REINSTALLATION.
 - REMOVE LIGHTNING PROTECTION AS REQ'D FOR DEMOLITION & CONSTRUCTION WORK & REINSTALL.
 - REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
 - PREP ALL WALLS, STRUCTURAL FRAMES, ECT TO BE PAINTED.



2 UPPER MEZZANINE DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



1 UPPER LEVEL DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

Submital	Date
C.D. 5 (100% SIGNED) SUBMITTAL	10/26/2018
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TODD MEDD 2438 10.26.2018
REG. NO DATE

Drawing Title: UPPER LEVEL & UPPER MEZZANINE DEMOLITION PLAN		Project Title: REPLACE BOILER PLANT		Date: 10.26.2018
Project Phase: 100% CONSTRUCTION DOCUMENT		Scale: 1/4" = 1'-0"		Drawing No. A102 Dwg. 9 of 69
VA Project No. 437-14-112	Contract No. VA263-P-1218 VA263	Designed By: MS	Checked By: TM	
Building No. 10 - BOILER PLANT	Doc. Dwg Name: A102.DWG	Location: FARGO VA HEALTH CARE SYSTEM FARGO, NORTH DAKOTA		

DEMOLITION LEGEND

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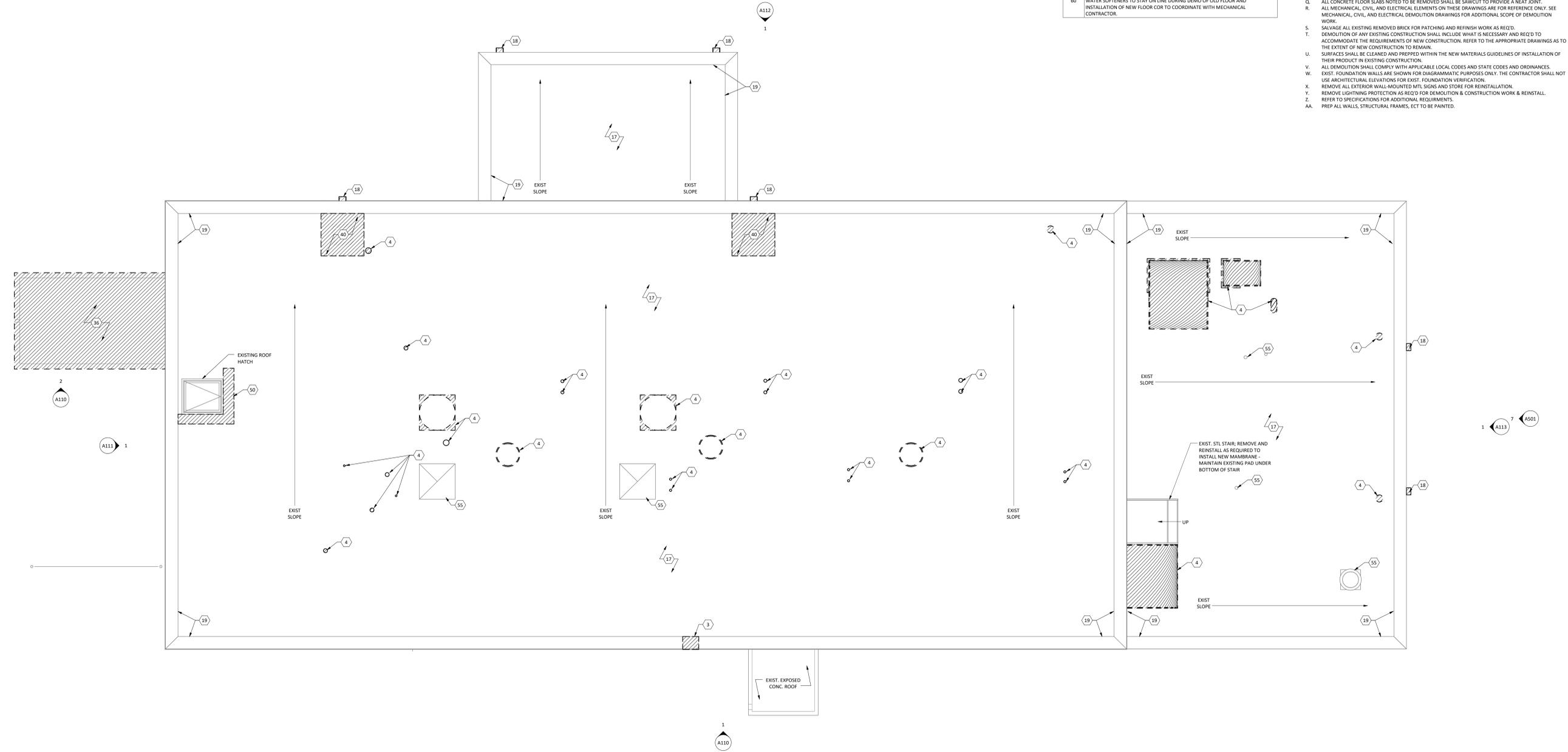
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SCALE: 1/4" = 1'-0"

Submital	Date
C.D. 5 (100% SIGNED) SUBMITTAL	10/26/2018
C.D. 4 (100%) SUBMITTAL	06/01/2018
D.D. 3 (99%) SUBMITTAL	10/20/2017
D.D. 2 (50%) SUBMITTAL	03/03/2017
D.D. 1 (35%) SUBMITTAL	09/30/2016
D.D. 1 SUBMITTAL (PRELIM.)	02/16/2016
S.D. 1 SUBMITTAL	12/30/2015

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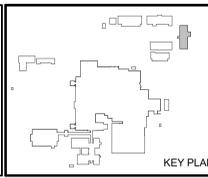
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I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF NORTH DAKOTA

TODD MEDD 2438 10.26.2018
REG. NO DATE

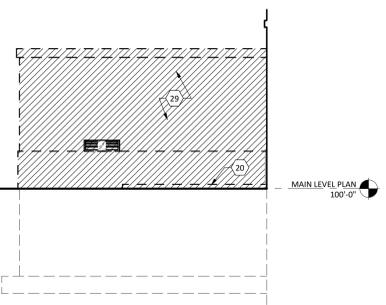


Drawing Title: UPPER ROOF DEMOLITION PLAN	
Project Phase: 100% CONSTRUCTION DOCUMENT	
VA Project No: 437-14-112	Contract No: VA263-P-1218 VA263
Building No: 10 - BOILER PLANT	Doc. Name: A103.DWG

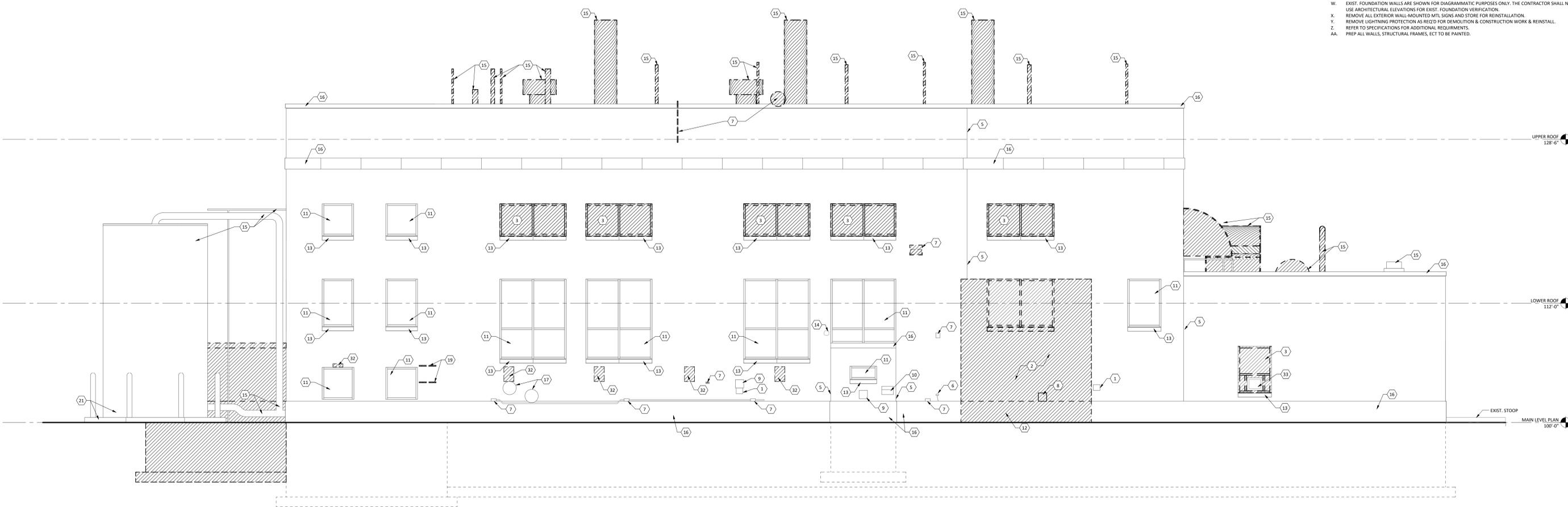
Project Title: REPLACE BOILER PLANT		Date: 10.26.2018
Scale: 1/4" = 1'-0"		Drawing No: A103
Designed By: MS	Checked By: TM	Drawn By: AW
Location: FARGO VA HEALTH CARE SYSTEM FARGO, NORTH DAKOTA		

Department of Veterans Affairs

10 of 69



2 PARTIAL WEST DEMO ELEVATION
SCALE: 1/4" = 1'-0"



1 WEST DEMOLITION ELEVATION
SCALE: 1/4" = 1'-0"

DEMOLITION LEGEND	
	EXISTING TO BE REMOVED.
	EXISTING TO REMAIN.
	EXISTING TO BE REMOVED.
	EXISTING TRENCH DRAIN TO REMAIN

ALL DEMOLITION WORK REQUIRED IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON THE DEMOLITION PLANS. THE INTENT IS TO REMOVE ALL MECHANICAL, ELECTRICAL AND ARCHITECTURAL ITEMS NOT NEEDED OR REUSED AS REQUIRED TO FACILITATE NEW CONSTRUCTION.

REFER TO FINISH SCHEDULE FOR ADDITIONAL FINISH WORK REQUIRED IN OTHER AREAS THAT ARE NOT DOCUMENTED TO RECEIVE ANY DEMOLITION/REMOVAL WORK AS INDICATED ON DEMOLITION PLANS, (TYPICAL).

DEMOLITION ELEVATION KEYNOTES	
NO.	NOTE
1	EXISTING WALL HYDRANT COVER. REMOVE EXISTING PERIMETER CAULKING.
2	REMOVE EXISTING BRICK WALL FOR NEW STOREFRONT OPENING. REMOVE EXISTING WINDOW, LINTEL & SILL. SHORE BRICK AS REQUIRED. REFER TO STRUCTURAL.
3	REMOVE EXISTING ALUMINUM WINDOW. WHERE NEW WINDOW TO BE INSTALLED. PATCH & PREP. WALLS, SILL, & HEAD AS REQUIRED FOR NEW WINDOW.
4	REMOVE EXISTING EXTERIOR HM DOOR & PREP. EXISTING FRAME FOR NEW HM DOOR.
5	REMOVE EXISTING BRICK CONTROL JOINT CAULKING IN ITS ENTIRETY.
6	EXISTING DOOR HOOK TO REMAIN.
7	EXISTING ELECTRICAL EQUIP. REFER TO ELECTRICAL.
8	REMOVE EXISTING STEEL THRU-WALL PLATE AT BOTH SIDES OF EXTERIOR WALL.
9	EXISTING STEEL THRU-WALL PLATE.
10	EXISTING DROP BOX.
11	EXISTING ALUMINUM WINDOW.
12	REMOVE EXISTING CONCRETE BASE FOR NEW STOREFRONT OPENING.
13	EXISTING CONCRETE SILL.
14	REMOVE EXISTING OPEN UNLINED ELECTRICAL J-BOX AND PREP FOR PATCHING.
15	EXISTING MECHANICAL EQUIPMENT - REFER TO MECHANICAL.
16	EXISTING CONCRETE BASE, BAND, OR COPING.
17	EXISTING TEMPORARY BOILER CONNECTIONS.
18	REMOVE EXISTING WALL LOUVER.
19	REMOVE EXISTING SIGNAGE BRACKETS AND SALVAGE FOR REINSTALLATION.
20	REMOVE EXISTING CONCRETE CURB AND SLAB.
21	EXISTING WATER TANK & WATER TANK CONCRETE PAD.
22	EXISTING LIGHTING PROTECTION. REMOVE AS NECESSARY FOR DEMOLITION & CONSTRUCTION & REINSTALL. REFER TO ELECTRICAL.
23	EXISTING STEEL INFILL HEADER & SILL.
24	REMOVE EXISTING EXTERIOR MISC. METAL FILL PENETRATIONS WITH GROUT TO BE SMOOTH AND LEVEL WITH SURROUNDING BRICK.
25	REMOVE EXISTING DOWNSPOUT & ROOF SCUPPER. CONNECTIONS INTO STORMWATER SYSTEM TO REMAIN.
26	EXISTING SHEET METAL GUARDS.
27	REMOVE EXISTING CH DOOR IN ITS ENTIRETY. REMOVE EXISTING STEEL JAMBS IN THEIR ENTIRETY. EXISTING STEEL LINTEL TO REMAIN.
28	REMOVE EXISTING GAS HOUSE WALLS, ROOF STRUCTURE, AND FOUNDATION IN THEIR ENTIRETY FOR NEW PAVING. COORD. GAS METER RELOCATION WITH OWNER & APPLICABLE UTILITY COMPANY. REFER TO CIVIL & MECHANICAL.
29	REMOVE AND REINSTALL EXISTING EXTERIOR BUILDING SIGNAGE AFTER WORK IS COMPLETED.
30	REMOVE EXISTING BRICK & CMU FOR OPENING FOR NEW MECHANICAL LOUVER. TEMPORARILY SHORE MASONRY AS REQUIRED FOR INSTALLATION OF NEW LINTEL. REFER TO STRUCTURAL & MECHANICAL.
31	REMOVE EXISTING EXTERIOR SIGN & SALVAGE FOR REINSTALLATION.
32	REMOVE EXISTING WINDOW MOUNTED AC UNIT & SALVAGE FOR OWNER.
33	REMOVE EXISTING SHEET METAL SCUPPER.
34	REMOVE EXISTING SHEET METAL SCUPPER.

- DEMOLITION GENERAL NOTES**
- A. ALL CONTRACTORS SHOULD NOTE THAT THE BUILDING IS NOT TO BE OCCUPIED DURING THE ENTIRE CONSTRUCTION TIMELINE. THE CONTRACTOR IS TO MEET ALL CURRENT SAFETY STANDARDS TO PROTECT THE CONTRACTOR & OWNER.
 - B. OWNER WILL OCCUPY EXTERIOR BOILER TRAILERS IMMEDIATELY ADJACENT TO THE CONSTRUCTION SITE. CONDUCT SELECTIVE DEMOLITION WORK IN MANNER THAT WILL MINIMIZE NEED FOR DISRUPTION OF OWNER'S OPERATION OF TRAILER BOILERS. REFER TO SPECIFICATIONS FOR MINIMUM ADVANCE NOTICE TO OWNER.
 - C. PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION TO PROTECT OWNER'S PERSONNEL AND GENERAL PUBLIC FROM INJURY DUE TO SELECTIVE DEMOLITION WORK.
 - D. PROTECT FROM DAMAGE EXISTING FINISH WORK THAT IS TO REMAIN IN PLACE AND BECOME EXPOSED DURING DEMOLITION OPERATIONS.
 - E. PROTECT FLOORS WITH SUITABLE COVERING WHEN NECESSARY.
 - F. COVER AND PROTECT FURNITURE, EQUIPMENT, AND FIXTURES FROM SOilage OR DAMAGE WHEN DEMOLITION WORK IS PERFORMED IN AREAS WHERE SUCH ITEMS HAVE NOT BEEN REMOVED PRIOR TO CUTTING EXISTING CONSTRUCTION. LOCATE AND IDENTIFY SERVICES TO REMAIN IN OPERATION, INCLUDING ALL FLOOR PENETRATIONS. UNDOCUMENTED CONDITIONS, UTILITY RISERS, ETC. AND ANY WALLS THAT CONTAIN LIFE SAFETY VERTICAL RISERS THAT MUST REMAIN IN OPERATION DURING THE DEMOLITION WORK.
 - G. CONTRACTOR SHALL VERIFY ALL EXISTING BUILDING DIMENSIONS, PARTITION AND WALL LOCATIONS AND FLOOR ELEVATIONS IN FIELD AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BEFORE THE START OF WORK.
 - H. WHEN UNANTICIPATED MECHANICAL, ELECTRICAL, OR STRUCTURAL ELEMENTS THAT CONFLICT WITH INTENDED FUNCTION OF DESIGN ARE ENCOUNTERED, INVESTIGATE AND MEASURE BOTH NATURE AND EXTENT OF THE CONFLICT AND NOTIFY OWNER'S REPRESENTATIVE.
 - I. MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING DEMOLITION OPERATIONS. DO NOT INTERRUPT UTILITIES SERVING OCCUPIED OR USED FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION.
 - J. WHERE DEMOLITION IS REQ'D BEYOND THE LIMITS OF THE CONTRACT TO ROUTE NEW DUCTWORK, PIPING, CONDUITS ETC., ALL FINISHES DAMAGED BY THE WORK SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
 - K. REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQ'D. RETURN ELEMENTS OF CONSTRUCTION AND SURFACES TO REMAIN, TO THE CONDITION EXISTING PRIOR TO START OF OPERATIONS. REPAIR ADJACENT CONSTRUCTION OR SURFACES SOILED OR DAMAGED BY SELECTIVE DEMOLITION.
 - L. PROVIDE SHORING, BRACING AND ANY OTHER MEANS REQ'D TO PROTECT AND MAINTAIN THE SAFETY, INTEGRITY AND STABILITY OF ALL EXISTING AND NEW CONSTRUCTION.
 - M. WHEN ROOFING, GLAZING, FLASHING, COPING OR PORTIONS OF EXTERIOR WALLS ARE REMOVED OR OPENED, SUITABLE WEATHER PROTECTION SHALL BE PROVIDED AND MAINTAINED FOR THE DURATION OF WORK.
 - N. REMOVAL OF ITEMS NOTED INCLUDES REMOVAL OF ANCHORS, ADHESIVES, HARDWARE, CONDUIT, WIRE, PIPING, ETC. FOR A COMPLETE REMOVAL OF THE ITEMS OR SYSTEMS.
 - O. WHENEVER WATER CLOSETS, FLOOR SINKS OR OTHER EQUIPMENT AND RELATED PIPING ARE TO BE REMOVED, PATCH FLOOR SLAB W/ CONCRETE AS REQUIRED.
 - P. ALL CONCRETE FLOOR SLABS NOTED TO BE REMOVED SHALL BE SAWCUT TO PROVIDE A NEAT JOINT.
 - Q. ALL MECHANICAL, CIVIL, AND ELECTRICAL ELEMENTS ON THESE DRAWINGS ARE FOR REFERENCE ONLY. SEE MECHANICAL, CIVIL, AND ELECTRICAL DEMOLITION DRAWINGS FOR ADDITIONAL SCOPE OF DEMOLITION WORK.
 - R. SALVAGE ALL EXISTING REMOVED BRICK FOR PATCHING AND REFINISH WORK AS REQ'D.
 - S. DEMOLITION OF ANY EXISTING CONSTRUCTION SHALL INCLUDE WHAT IS NECESSARY AND REQ'D TO ACCOMMODATE THE REQUIREMENTS OF NEW CONSTRUCTION. REFER TO THE APPROPRIATE DRAWINGS AS TO THE EXTENT OF NEW CONSTRUCTION TO REMAIN.
 - T. SURFACES SHALL BE CLEANED AND PREPARED WITHIN THE NEW MATERIALS GUIDELINES OF INSTALLATION OF THEIR PRODUCT IN EXISTING CONSTRUCTION.
 - U. ALL DEMOLITION SHALL COMPLY WITH APPLICABLE LOCAL CODES AND STATE CODES AND ORDINANCES.
 - V. EXIST. FOUNDATION WALLS ARE SHOWN FOR DIAGNOSTIC PURPOSES ONLY. THE CONTRACTOR SHALL NOT USE ARCHITECTURAL ELEVATIONS FOR EXIST. FOUNDATION VERIFICATION.
 - W. REMOVE ALL EXTERIOR WALL-MOUNTED MTL SIGNS AND STORE FOR REINSTALLATION.
 - X. REMOVE LIGHTING PROTECTION AS REQ'D FOR DEMOLITION & CONSTRUCTION WORK & REINSTALL.
 - Y. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
 - Z. PREP ALL WALLS, STRUCTURAL FRAMES, ECT TO BE PAINTED.

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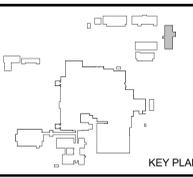
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TODD MEDD 2438 10.26.2018
REG. NO DATE



Drawing Title: EXTERIOR DEMOLITION ELEVATIONS		Project Title: REPLACE BOILER PLANT		Date: 10.26.2018
Project Phase: 100% CONSTRUCTION DOCUMENT		Contract No.: VA263-P-1218		Scale: 1/4" = 1'-0"
VA Project No.: 437-14-112	Contract No.: VA263	Designed By: MS	Checked By: TM	Drawing No.: A110
Building No.: 10 - BOILER PLANT	Exec. Draw Name: A110.DWG	Location: FARGO VA HEALTH CARE SYSTEM FARGO, NORTH DAKOTA		Dwg. 11 of 69

Department of Veterans Affairs

DEMOLITION LEGEND

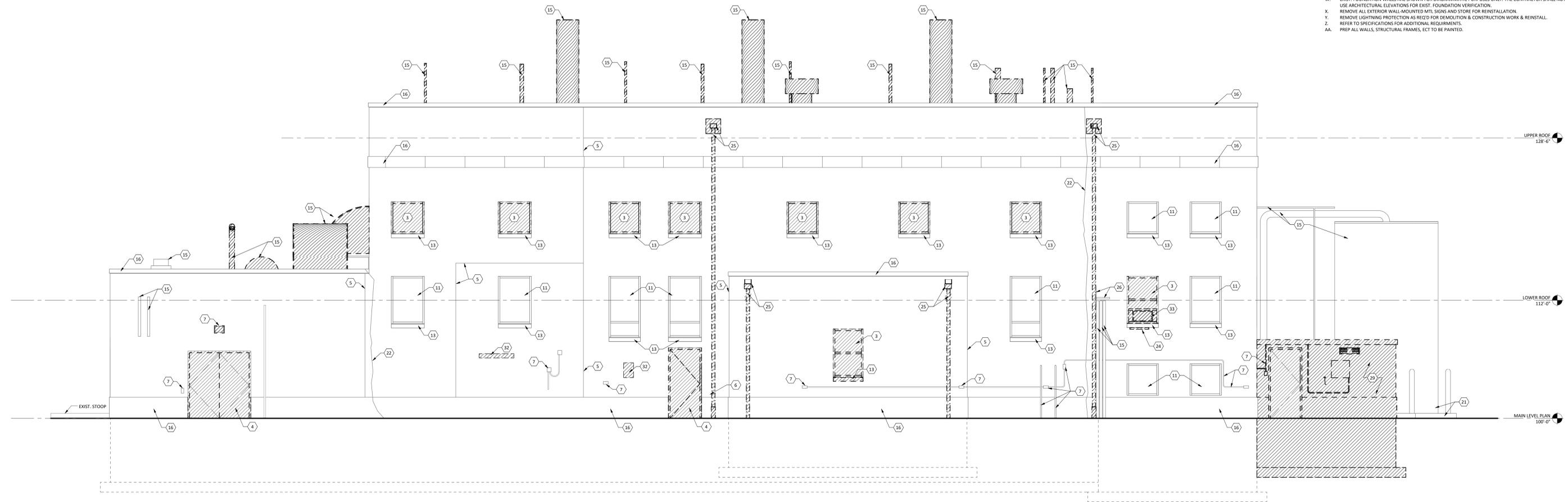
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- G. PRIOR TO CUTTING EXISTING CONSTRUCTION, LOCATE AND IDENTIFY SERVICES TO REMAIN IN OPERATION, INCLUDING ALL FLOOR PENETRATIONS, UNDOCUMENTED CONDITIONS, UTILITY RISERS, ETC. AND ANY WALLS THAT CONTAIN LIFE SAFETY VERTICAL RISERS THAT MUST REMAIN IN OPERATION DURING THE DEMOLITION WORK.
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- J. MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING DEMOLITION OPERATIONS. DO NOT INTERRUPT UTILITIES SERVING OCCUPIED OR USED FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION.
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- O. WHEREVER WATER CLOSETS, FLOOR SINKS OR OTHER EQUIPMENT AND RELATED PIPING ARE TO BE REMOVED, PATCH FLOOR SLAB W/ CONCRETE AS REQUIRED.
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- Q. ALL MECHANICAL, CIVIL, AND ELECTRICAL ELEMENTS ON THESE DRAWINGS ARE FOR REFERENCE ONLY. SEE MECHANICAL, CIVIL AND ELECTRICAL DEMOLITION DRAWINGS FOR ADDITIONAL SCOPE OF DEMOLITION WORK.
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1 EAST DEMOLITION ELEVATION
SCALE: 1/4" = 1'-0"

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TODD MEDD 2438 10.26.2018
REG. NO DATE

Drawing Title: **EXTERIOR DEMOLITION ELEVATIONS**

Project Phase: **100% CONSTRUCTION DOCUMENT**

VA Project No: **437-14-112**

Contract No: **VA263-P-1218 VA263**

Building No: **10 - BOILER PLANT**

Doc. Dwg Name: **A112.DWG**

Project Title: **REPLACE BOILER PLANT**

Designed By: **MS**

Checked By: **TM**

Drawn By: **AW**

Location: **FARGO VA HEALTH CARE SYSTEM FARGO, NORTH DAKOTA**

Date: **10.26.2018**

Scale: **1/4" = 1'-0"**

Drawing No: **A112**

Dwg. 13 of 69



DEMOLITION LEGEND

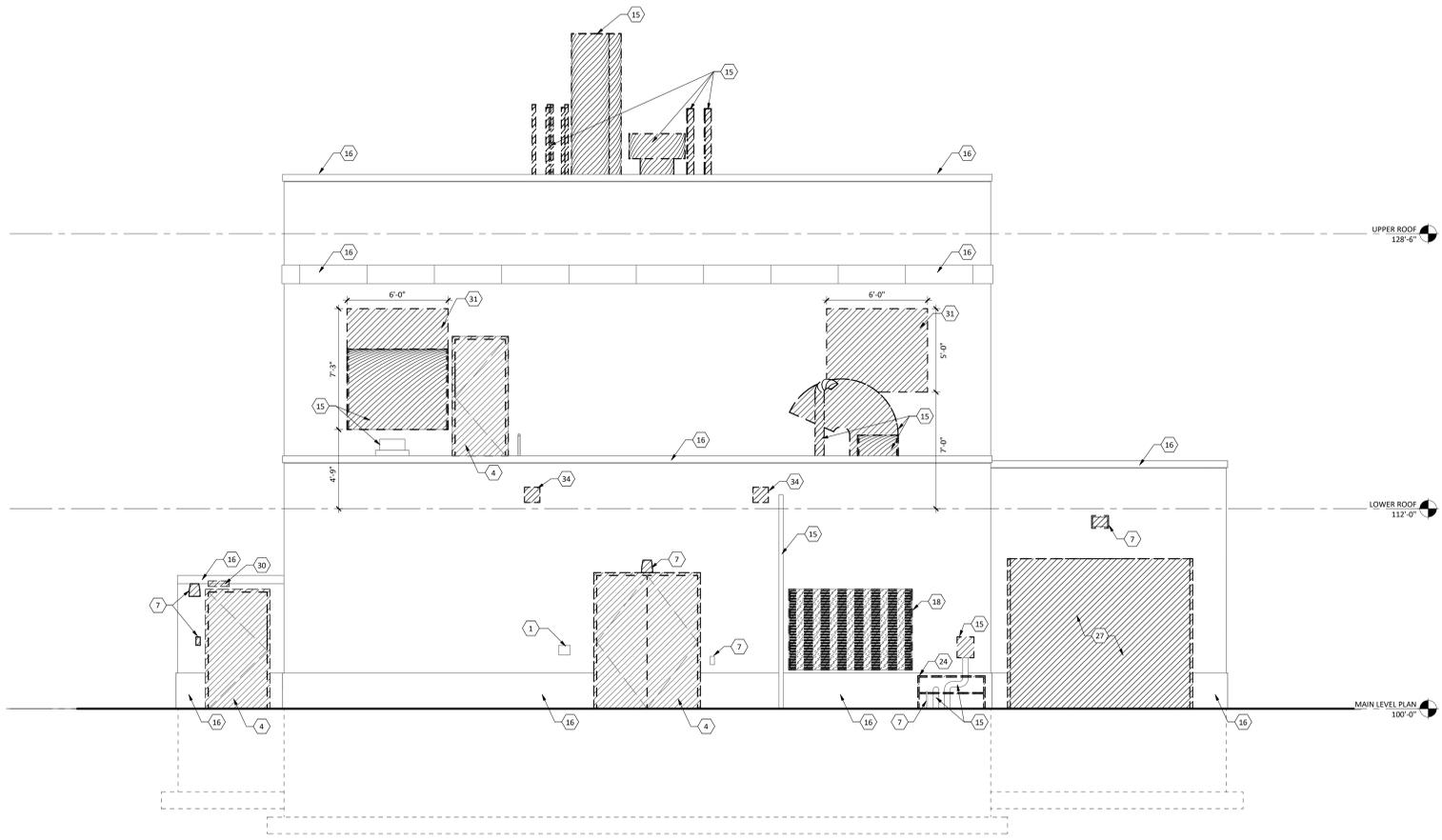
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1	EXISTING WALL HYDRANT COVER. REMOVE EXISTING PERIMETER CAULKING.
2	REMOVE EXISTING BRICK WALL FOR NEW STOREFRONT OPENING. REMOVE EXISTING WINDOW, LINTEL & SILL. SHORE BRICK AS REQUIRED. REFER TO STRUCTURAL.
3	REMOVE EXISTING ALUMINUM WINDOW. WHERE NEW WINDOW TO BE INSTALLED. PATCH & PREP. WALLS, SILL, & HEAD AS REQUIRED FOR NEW WINDOW.
4	REMOVE EXISTING EXTERIOR, HM DOOR & PREP. EXISTING FRAME FOR NEW HM DOOR.
5	REMOVE EXISTING BRICK CONTROL JOINT CAULKING IN ITS ENTIRETY.
6	EXISTING DOOR HOOK TO REMAIN.
7	EXISTING ELECTRICAL EQUIP. REFER TO ELECTRICAL.
8	REMOVE EXISTING STEEL THRU-WALL PLATE AT BOTH SIDES OF EXTERIOR WALL.
9	EXISTING STEEL THRU-WALL PLATE.
10	EXISTING DROP BOX.
11	REMOVE EXISTING ALUMINUM WINDOW.
12	REMOVE EXISTING CONCRETE BASE FOR NEW STOREFRONT OPENING.
13	EXISTING CONCRETE SILL.
14	REMOVE EXISTING OPEN UNUSED ELECTRICAL J-BOX AND PREP FOR PATCHING.
15	EXISTING MECHANICAL EQUIPMENT - REFER TO MECHANICAL.
16	EXISTING CONCRETE BASE, BAND, OR COPING.
17	EXISTING TEMPORARY BOILER CONNECTIONS.
18	REMOVE EXISTING WALL LOUVER.
19	REMOVE EXISTING SIGNAGE BRACKETS AND SALVAGE FOR REINSTALLATION.
20	REMOVE EXISTING CONCRETE CURB AND SLAB.
21	EXISTING WATER TANK & WATER TANK CONCRETE PAD.
22	EXISTING LIGHTNING PROTECTION. REMOVE AS NECESSARY FOR DEMOLITION & CONSTRUCTION & REINSTALL. REFER TO ELECTRICAL.
23	EXISTING STEEL INFILL HEADER & SILL.
24	REMOVE EXISTING EXTERIOR MISC. METAL. FILL PENETRATIONS WITH GROUT TO BE SMOOTH AND LEVEL WITH SURROUNDING BRICK.
25	REMOVE EXISTING DOWNSPOUT & ROOF SCUPPER. CONNECTIONS INTO STORMWATER SYSTEM TO REMAIN.
26	EXISTING SHEET METAL GUARDS.
27	REMOVE EXISTING OH DOOR IN ITS ENTIRETY. REMOVE EXISTING STEEL IAMBES IN THEIR ENTIRETY. EXISTING STEEL LINTEL TO REMAIN.
29	REMOVE EXISTING GAS HOUSE WALLS, ROOF STRUCTURE, AND FOUNDATION IN THEIR ENTIRETY FOR NEW PAVING. COORD. GAS METER RELOCATION WITH OWNER & APPLICABLE UTILITY COMPANY. REFER TO CIVIL & MECHANICAL.
30	REMOVE AND REINSTALL EXISTING EXTERIOR BUILDING SIGNAGE AFTER WORK IS COMPLETED.
31	REMOVE EXISTING BRICK & CMU FOR OPENING FOR NEW MECHANICAL LOUVER. TEMPORARILY SHORE MASONRY AS REQUIRED FOR INSTALLATION OF NEW LINTEL - REFER TO STRUCTURALS & MECHANICAL.
32	REMOVE EXISTING EXTERIOR SIGN & SALVAGE FOR REINSTALLATION.
33	REMOVE EXISTING WINDOW MOUNTED AC UNIT & SALVAGE FOR OWNER.
34	REMOVE EXISTING SHEET METAL SCUPPER.

DEMOLITION GENERAL NOTES

- A. ALL CONTRACTORS SHOULD NOTE THAT THE BUILDING IS NOT TO BE OCCUPIED DURING THE ENTIRE CONSTRUCTION TIMELINE. THE CONTRACTOR IS TO MEET ALL CURRENT SAFETY STANDARDS TO PROTECT THE CONTRACTOR & OWNER.
- B. OWNER WILL OCCUPY EXTERIOR BOILER TRAILERS IMMEDIATELY ADJACENT TO THE CONSTRUCTION SITE. CONDUCT SELECTIVE DEMOLITION WORK IN MANNER THAT WILL MINIMIZE NEED FOR DISRUPTION OF OWNER'S OPERATION OF TRAILER BOILERS. REFER TO SPECIFICATIONS FOR MINIMUM ADVANCE NOTICE TO OWNER.
- C. PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION TO PROTECT OWNER'S PERSONNEL AND GENERAL PUBLIC FROM INJURY DUE TO SELECTIVE DEMOLITION WORK.
- D. PROTECT FROM DAMAGE EXISTING FINISH WORK THAT IS TO REMAIN IN PLACE AND BECOME EXPOSED DURING DEMOLITION OPERATIONS.
- E. PROTECT FLOORS WITH SUITABLE COVERING WHEN NECESSARY.
- F. COVER AND PROTECT FURNITURE, EQUIPMENT, AND FIXTURES FROM SOILAGE OR DAMAGE WHEN DEMOLITION WORK IS PERFORMED IN AREAS WHERE SUCH ITEMS HAVE NOT BEEN REMOVED. PRIOR TO CUTTING EXISTING CONSTRUCTION, LOCATE AND IDENTIFY SERVICES TO REMAIN IN OPERATION, INCLUDING ALL FLOOR PENETRATIONS, UNDOCUMENTED CONDITIONS, UTILITY RISERS, ETC. AND ANY WALLS THAT CONTAIN LIFE SAFETY VERTICAL RISERS THAT MUST REMAIN IN OPERATION DURING THE DEMOLITION WORK.
- H. CONTRACTOR SHALL VERIFY ALL EXISTING BUILDING DIMENSIONS, PARTITION AND WALL LOCATIONS AND FLOOR ELEVATIONS IN FIELD AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BEFORE THE START OF WORK.
- I. WHEN UNANTICIPATED MECHANICAL, ELECTRICAL, OR STRUCTURAL ELEMENTS THAT CONFLICT WITH INTENDED FUNCTION OF DESIGN ARE ENCOUNTERED, INVESTIGATE AND MEASURE BOTH NATURE AND EXTENT OF THE CONFLICT AND NOTIFY OWNER'S REPRESENTATIVE.
- J. MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING DEMOLITION OPERATIONS. DO NOT INTERRUPT UTILITIES SERVING OCCUPIED OR USED FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION.
- K. WHERE DEMOLITION IS REQ'D BEYOND THE LIMITS OF THE CONTRACT TO ROUTE NEW DUCTWORK, PIPING, CONDUITS ETC., ALL FINISHES DAMAGED BY THE WORK SHALL BE RESTORED TO THEIR ORIGINAL CONDITION. REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQ'D. RETURN ELEMENTS OF CONSTRUCTION AND SURFACES TO REMAIN, TO THE CONDITION EXISTING PRIOR TO START OF OPERATIONS. REPAIR ADJACENT CONSTRUCTION OR SURFACES SOILED OR DAMAGED BY SELECTIVE DEMOLITION.
- M. PROVIDE SHORING, BRACING AND ANY OTHER MEANS REQ'D TO PROTECT AND MAINTAIN THE SAFETY, INTEGRITY AND STABILITY OF ALL EXISTING AND NEW CONSTRUCTION.
- N. WHEN ROOFING, GLAZING, FLASHING, COPING OR PORTIONS OF EXTERIOR WALLS ARE REMOVED OR OPENED, SUITABLE WEATHER PROTECTION SHALL BE PROVIDED AND MAINTAINED FOR THE DURATION OF WORK.
- O. REMOVAL OF ITEMS NOTED INCLUDES REMOVAL OF ANCHORS, ADHESIVES, HARDWARE, CONDUIT, WIRE, PIPING, ETC. FOR A COMPLETE REMOVAL OF THE ITEMS OR SYSTEMS.
- P. WHEREVER WATER CLOSETS, FLOOR SINKS OR OTHER EQUIPMENT AND RELATED PIPING ARE TO BE REMOVED, PATCH FLOOR SLABS W/ CONCRETE AS REQUIRED.
- Q. ALL CONCRETE FLOOR SLABS NOTED TO BE REMOVED SHALL BE SAWCUT TO PROVIDE A NEAT JOINT.
- R. ALL MECHANICAL, CIVIL, AND ELECTRICAL ELEMENTS ON THESE DRAWINGS ARE FOR REFERENCE ONLY. SEE MECHANICAL, CIVIL, AND ELECTRICAL DEMOLITION DRAWINGS FOR ADDITIONAL SCOPE OF DEMOLITION WORK.
- S. SALVAGE ALL EXISTING REMOVED BRICK FOR PATCHING AND REFINISH WORK AS REQ'D.
- T. DEMOLITION OF ANY EXISTING CONSTRUCTION SHALL INCLUDE WHAT IS NECESSARY AND REQ'D TO ACCOMMODATE THE REQUIREMENTS OF NEW CONSTRUCTION. REFER TO THE APPROPRIATE DRAWINGS AS TO THE EXTENT OF NEW CONSTRUCTION TO REMAIN.
- U. SURFACES SHALL BE CLEANED AND PREPARED WITHIN THE NEW MATERIALS GUIDELINES OF INSTALLATION OF THEIR PRODUCT IN EXISTING CONSTRUCTION.
- V. ALL DEMOLITION SHALL COMPLY WITH APPLICABLE LOCAL CODES AND STATE CODES AND ORDINANCES.
- W. EXIST FOUNDATION WALLS ARE SHOWN FOR DIAGRAMMATIC PURPOSES ONLY. THE CONTRACTOR SHALL NOT USE ARCHITECTURAL ELEVATIONS FOR EXIST. FOUNDATION VERIFICATION.
- X. REMOVE ALL EXTERIOR WALL-MOUNTED MTL SIGNS AND STORE FOR REINSTALLATION.
- Y. REMOVE LIGHTNING PROTECTION AS REQ'D FOR DEMOLITION & CONSTRUCTION WORK & REINSTALL. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- Z. PREP ALL WALLS, STRUCTURAL FRAMES, ECT TO BE PAINTED.



1 SOUTH DEMOLITION ELEVATION
SCALE: 1/4" = 1'-0"

Submital	Date
C.D. 5 (100% SIGNED) SUBMITTAL	10/26/2018
C.D. 4 (100%) SUBMITTAL	06/01/2018
D.D. 3 (99%) SUBMITTAL	10/20/2017
D.D. 2 (50%) SUBMITTAL	03/03/2017
D.D. 1 (35%) SUBMITTAL	09/30/2016
D.D. 1 SUBMITTAL (PRELIM)	02/16/2016
S.D. 1 SUBMITTAL	12/30/2015

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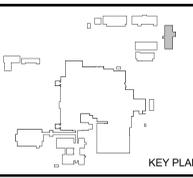
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I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF NORTH DAKOTA

TODD MEDD 2438 10.26.2018
REG. NO DATE



Drawing Title: EXTERIOR DEMOLITION ELEVATIONS		Project Title: REPLACE BOILER PLANT		Date: 10.26.2018
Project Phase: 100% CONSTRUCTION DOCUMENT		Contract No.: VA263-P-1218		Scale: 1/4" = 1'-0"
VA Project No.: 437-14-112	Contract No.: VA263	Designed By: MS	Checked By: TM	Drawing No.: A113
Building No.: 10 - BOILER PLANT	Exec. dwg name: A113.DWG	Location: FARGO VA HEALTH CARE SYSTEM FARGO, NORTH DAKOTA		Dwg. 14 of 69

Department of Veterans Affairs

