

# GENERAL NOTES

THE FOLLOWING WILL APPLY, UNLESS OTHERWISE NOTED.

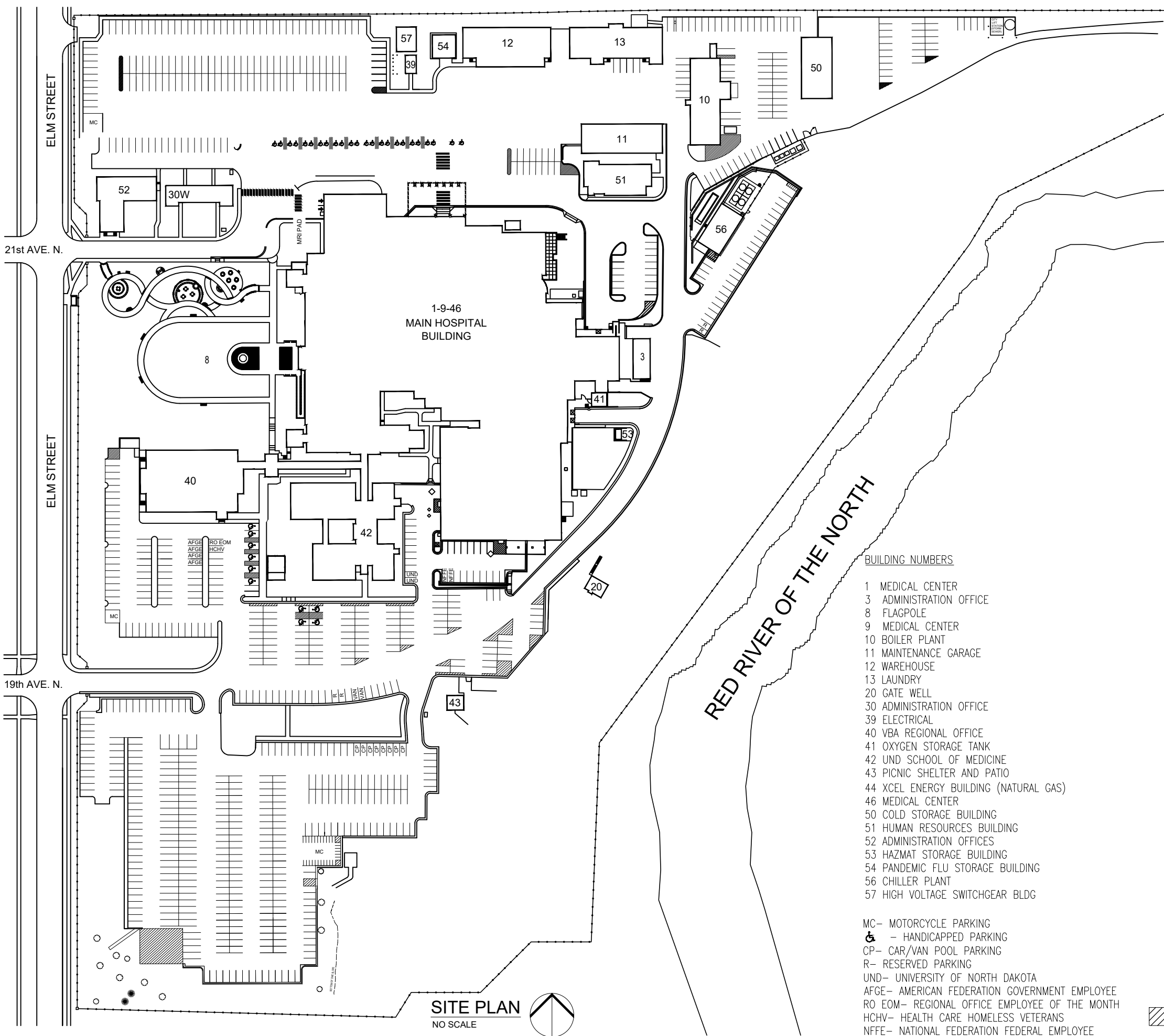
1. CONTRACTORS ARE TO COORDINATE ALL WORK WITH THE PROJECT ENGINEER AND OTHER CONTRACTORS WITH CONCURRENT PROJECTS ON SITE.
2. CONTRACTOR TO VERIFY ALL FIELD CONDITIONS AND PHYSICAL DIMENSIONS THAT INFLUENCE THE CONSTRUCTION AREA.
3. IT IS RECOMMENDED THAT CONTRACTORS VISIT THE PROPOSED CONSTRUCTION SITE PRIOR TO SUBMITTING THEIR BIDS AND THEY ARE ENCOURAGED TO DO SO.
4. CONTRACTOR SHALL ADHERE STRICTLY TO STATE AND FEDERAL OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS.
5. CONTRACTOR SHALL PARK ONLY IN DESIGNATED PARKING AREAS AND NOT ON THE LAWN AREAS.
6. CONTRACTOR IS RESPONSIBLE FOR THE SAFEGUARDING OF THEIR TOOLS AND EQUIPMENT. ALL TOOLS AND EQUIPMENT ARE NOT TO BE LEFT UNATTENDED AND ARE TO BE SECURED AT ALL TIMES WHEN THE CONTRACTOR IS NOT PRESENT, OR THE CONSTRUCTION SITE IS NOT SUPERVISED BY THE CONTRACTOR.
7. ALL VA PROPERTY IS TO BE SAFEGUARDED FROM DAMAGE. ANY DAMAGED VA PROPERTY IS TO BE RESTORED TO ORIGINAL CONDITION PRIOR TO DAMAGE OR REPLACED COMPLETELY. THIS INCLUDES INSTALLATION, LABOR, AND PROCUREMENT EXPENSES.
8. ALL DEMOLISHED MATERIAL BECOMES THE PROPERTY AND THE RESPONSIBILITY OF THE CONTRACTOR WITH THE EXCEPTION OF SPECIFIED ITEMS DESIGNATED EITHER IN THE PLANS OR VERBALLY REQUESTED BY THE PROJECT ENGINEER TO BE RETAINED BY THE VA.
9. OFFSITE DISPOSAL OF THE DEMOLISHED ITEMS IS THE RESPONSIBILITY OF THE CONTRACTOR
10. CLEAN ALL DEBRIS FROM CONSTRUCTION SITE TO THE SATISFACTION OF THE PROJECT ENGINEER.
11. ACCESS TO ALL BUILDINGS AND PARKING AREAS MUST BE MAINTAINED THROUGHOUT THE PROJECT.

## GENERAL

X1 COVER SHEET

## ARCHITECTURAL

- A0.1 - ROOF REPLACEMENT OVERVIEW PLAN
- A1 - FIRST FLOOR OVERVIEW ROOF REPLACEMENT PLAN
- A1.1 - FIRST FLOOR ENLARGED ROOF REPLACEMENT PLAN
- A1.2 - FIRST FLOOR ENLARGED ROOF REPLACEMENT PLAN
- A2 - SECOND FLOOR OVERVIEW ROOF REPLACEMENT PLAN
- A2.1 - SECOND FLOOR ENLARGED ROOF REPLACEMENT PLAN
- A3 - THIRD FLOOR OVERVIEW ROOF REPLACEMENT PLAN
- A3.1 - THIRD FLOOR ENLARGED ROOF REPLACEMENT PLAN
- A3.2 - THIRD FLOOR ENLARGED ROOF REPLACEMENT PLAN
- A4 - FOURTH FLOOR OVERVIEW ROOF REPLACEMENT PLAN
- A4.1 - FOURTH FLOOR ENLARGED ROOF REPLACEMENT PLAN
- A5 - PENTHOUSE OVERVIEW ROOF REPLACEMENT PLAN
- A5.1 - PENTHOUSE ENLARGED ROOF REPLACEMENT PLAN
- A6 - ROOFING DETAILS
- A6.1 - ROOFING DETAILS
- A6.2 - FENCING DETAIL



### BUILDING NUMBERS

- 1 MEDICAL CENTER
- 3 ADMINISTRATION OFFICE
- 8 FLAGPOLE
- 9 MEDICAL CENTER
- 10 BOILER PLANT
- 11 MAINTENANCE GARAGE
- 12 WAREHOUSE
- 13 LAUNDRY
- 20 GATE WELL
- 30 ADMINISTRATION OFFICE
- 39 ELECTRICAL
- 40 VBA REGIONAL OFFICE
- 41 OXYGEN STORAGE TANK
- 42 UND SCHOOL OF MEDICINE
- 43 PICNIC SHELTER AND PATIO
- 44 XCEL ENERGY BUILDING (NATURAL GAS)
- 46 MEDICAL CENTER
- 50 COLD STORAGE BUILDING
- 51 HUMAN RESOURCES BUILDING
- 52 ADMINISTRATION OFFICES
- 53 HAZMAT STORAGE BUILDING
- 54 PANDEMIC FLU STORAGE BUILDING
- 56 CHILLER PLANT
- 57 HIGH VOLTAGE SWITCHGEAR BLDG

- MC- MOTORCYCLE PARKING
- ♿ - HANDICAPPED PARKING
- CP- CAR/VAN POOL PARKING
- R- RESERVED PARKING
- UND- UNIVERSITY OF NORTH DAKOTA
- AFGE- AMERICAN FEDERATION GOVERNMENT EMPLOYEE
- RO EOM- REGIONAL OFFICE EMPLOYEE OF THE MONTH
- HCHV- HEALTH CARE HOMELESS VETERANS
- NFFE- NATIONAL FEDERATION FEDERAL EMPLOYEE

**KEY TO SITE PLAN**  
 CONTRACTOR STAGING AREA. SHARED WITH VA AND OTHER CONTRACTORS.

**FARGO VAHCS**  
 2101 ELM STREET  
 FARGO, ND 58102

Drawing Title  
**Roof Replacement Overview Plan**

Project Title  
**Replace Selected Roofs**

Project No. **437-23-125** Date **12/20/2022**






Checked **X** Drawn By **X** Drawing No. **X1**

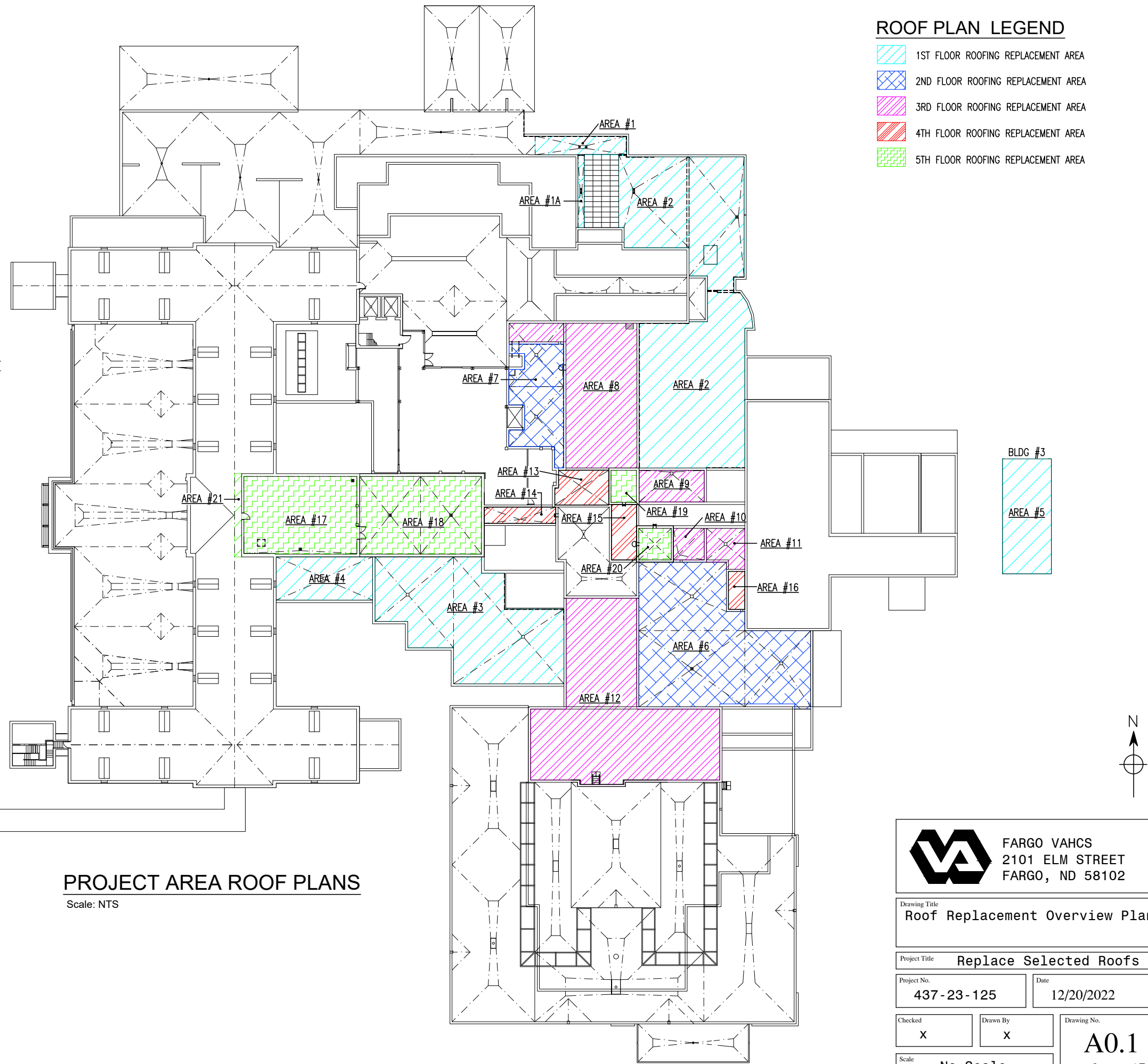
Scale **No-Scale** 1 of 17

**GENERAL NOTES**

1. CONTRACTOR WILL BE RESPONSIBLE FOR ENSURING CONSTRUCTION DEBRIS IS PROPERLY DISPOSED OF.
2. CONTRACTOR SHALL BE EXPECTED TO WORK AFTER NORMAL BUSINESS HOURS OR ON WEEKENDS.
3. COORDINATE WORK WITH OTHER JOBS TO AVOID ISSUES WITH EACH PROJECT.
4. INSTALLATION OF NEW CURBS OR EQUIPMENT SUPPORTS WILL NEED TO BE LOCATED AND COORDINATED WITH THE EHRM PROJECT CONTRACTOR. ROOFING CONTRACTOR SHALL SUPPLY AND INSTALL ADDITIONAL RUBBER WALK PADS NEEDED FROM EXISTING PATH TO NEW EQUIPMENT.
5. WORK INCLUDES REMOVAL AND INSTALLATION OF ALL NEW EPDM, INSULATION, FLASHING AND ASSOCIATED HARDWARE.
6. ALL SURFACES WILL BE CLEAN AND FREE OF ANY DEBRIS PRIOR TO INSTALLATION OF NEW INSULATION AND EPDM.
7. BARE CONCRETE DECK SHALL BE THOROUGHLY PHOTOGRAPHED AND INSPECTED FOR MOISTURE PRIOR TO NEW ROOFING INSTALLATION. NOTIFY VA COR IF ANY ISSUES ARE FOUND.
8. UNLESS OTHERWISE NOTED, ALL MECHANICAL EQUIPMENT MUST BE PROTECTED FOR REUSE.
9. ALL OPENINGS SHALL BE PROTECTED UNTIL RE-INSTALLATION OF EXISTING MECHANICAL EQUIPMENT.
10. WEATHER SEAL ALL PENETRATION.
11. CONTRACTOR WILL NOTIFY OWNER OF REQUIRED SHUT DOWNS A MINIMUM OF 72 HOURS IN ADVANCE. SHUT DOWNS WILL BE COORDINATED AFTER NORMAL BUSINESS HOURS WHICH IS 8:00AM-4:30PM. WORK THAT REQUIRES EXTENDED SHUT DOWNS MAY BE REQUIRED TO BE DONE ON WEEKENDS.
12. COVER ROOF PENETRATION HOLES USING A 3/8" THICK GALVANIZED STEEL PLATE WITH 4" BEARING AROUND THE PERIMETER OF THE HOLE. EACH PLATE CAN BE ANCHORED WITH 4-1/4" DIAMETER SIMPSON "TITEN-HD" SCREW ANCHORS THAT ARE 2" AWAY FROM THE EDGE OF THE HOLE.


**ROOF PLAN LEGEND**

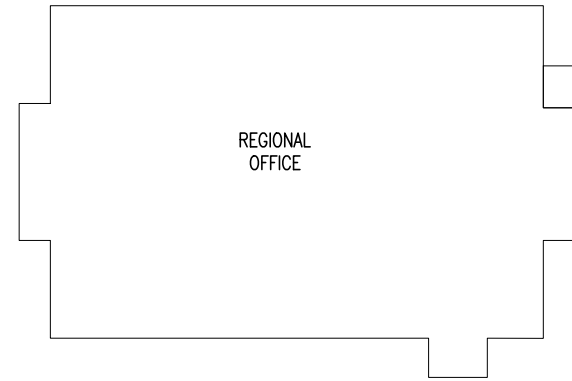
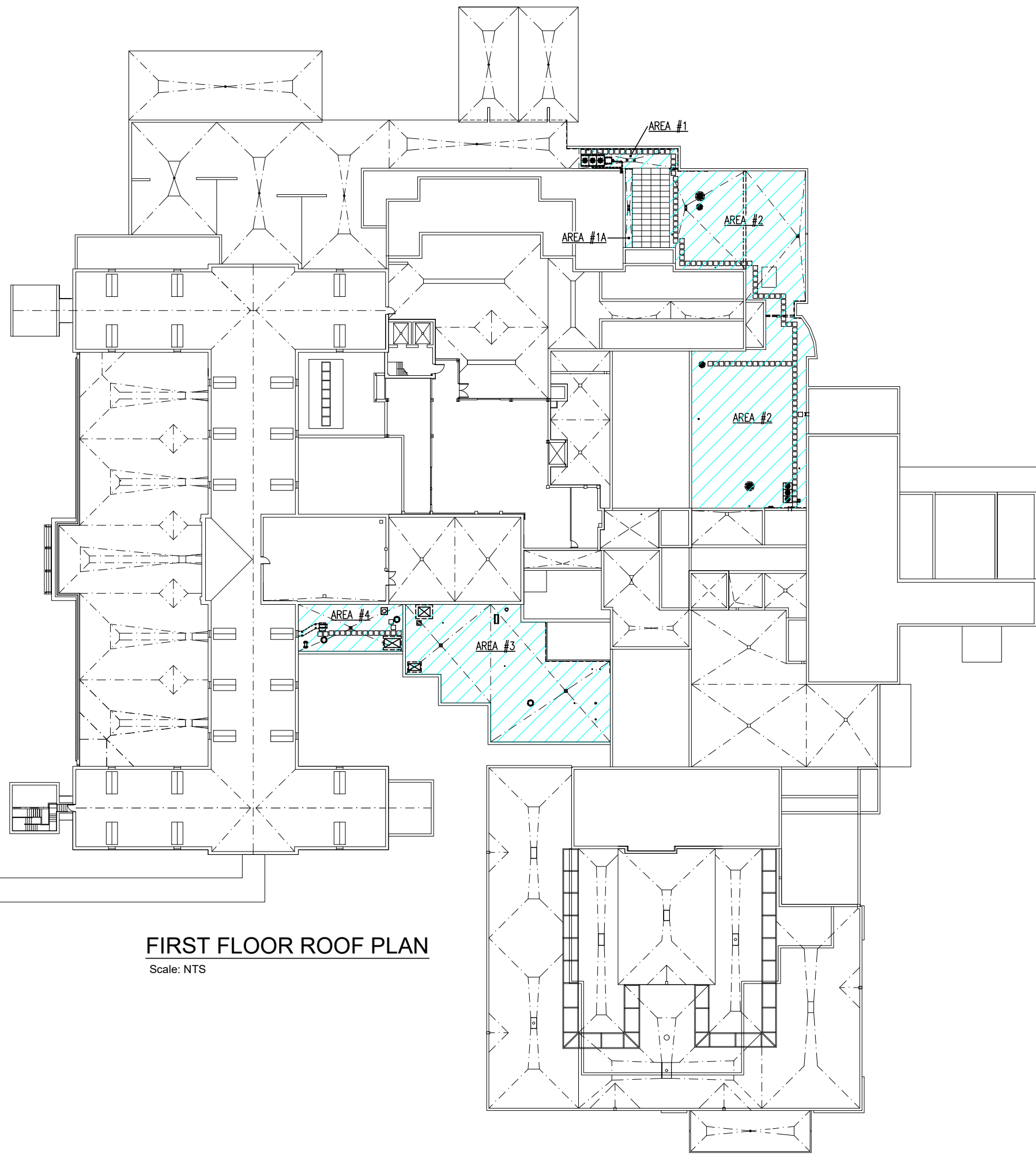
-  1ST FLOOR ROOFING REPLACEMENT AREA
-  2ND FLOOR ROOFING REPLACEMENT AREA
-  3RD FLOOR ROOFING REPLACEMENT AREA
-  4TH FLOOR ROOFING REPLACEMENT AREA
-  5TH FLOOR ROOFING REPLACEMENT AREA



**PROJECT AREA ROOF PLANS**

Scale: NTS

 <b>FARGO VAHCS</b> 2101 ELM STREET FARGO, ND 58102	
Project Title <b>Replace Selected Roofs</b>	
Project No. <b>437-23-125</b>	Date <b>12/20/2022</b>
Checked <b>X</b>	Drawn By <b>X</b>
Drawing No. <b>A0.1</b>	
Scale <b>No-Scale</b>	
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REGIONAL OFFICE

**FIRST FLOOR ROOF PLAN**  
Scale: NTS



FARGO VAHCS  
2101 ELM STREET  
FARGO, ND 58102

Drawing Title  
**First Floor Overview Roof Replacement Plan**

Project Title  
**Replace Select Roofs**

Project No.  
**437-23-125**

Date  
**12/20/2022**

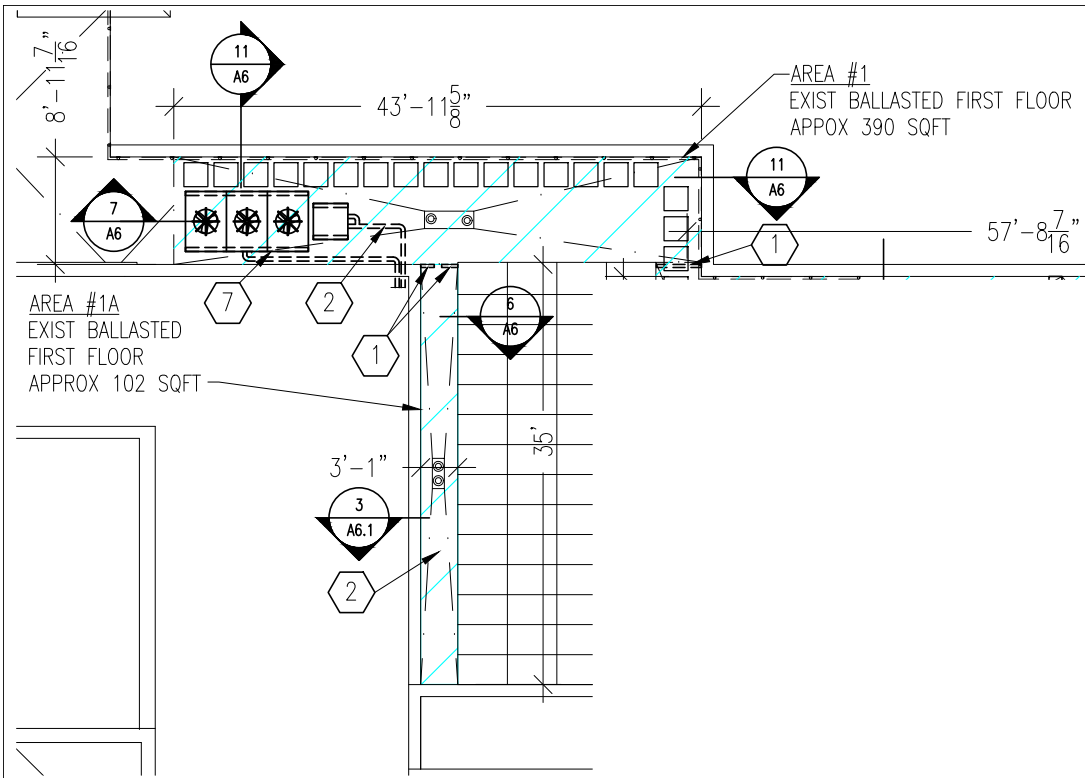
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Drawn By  
**X**

Drawing No.  
**A1**

Scale  
**No-Scale**

**3** of **17**

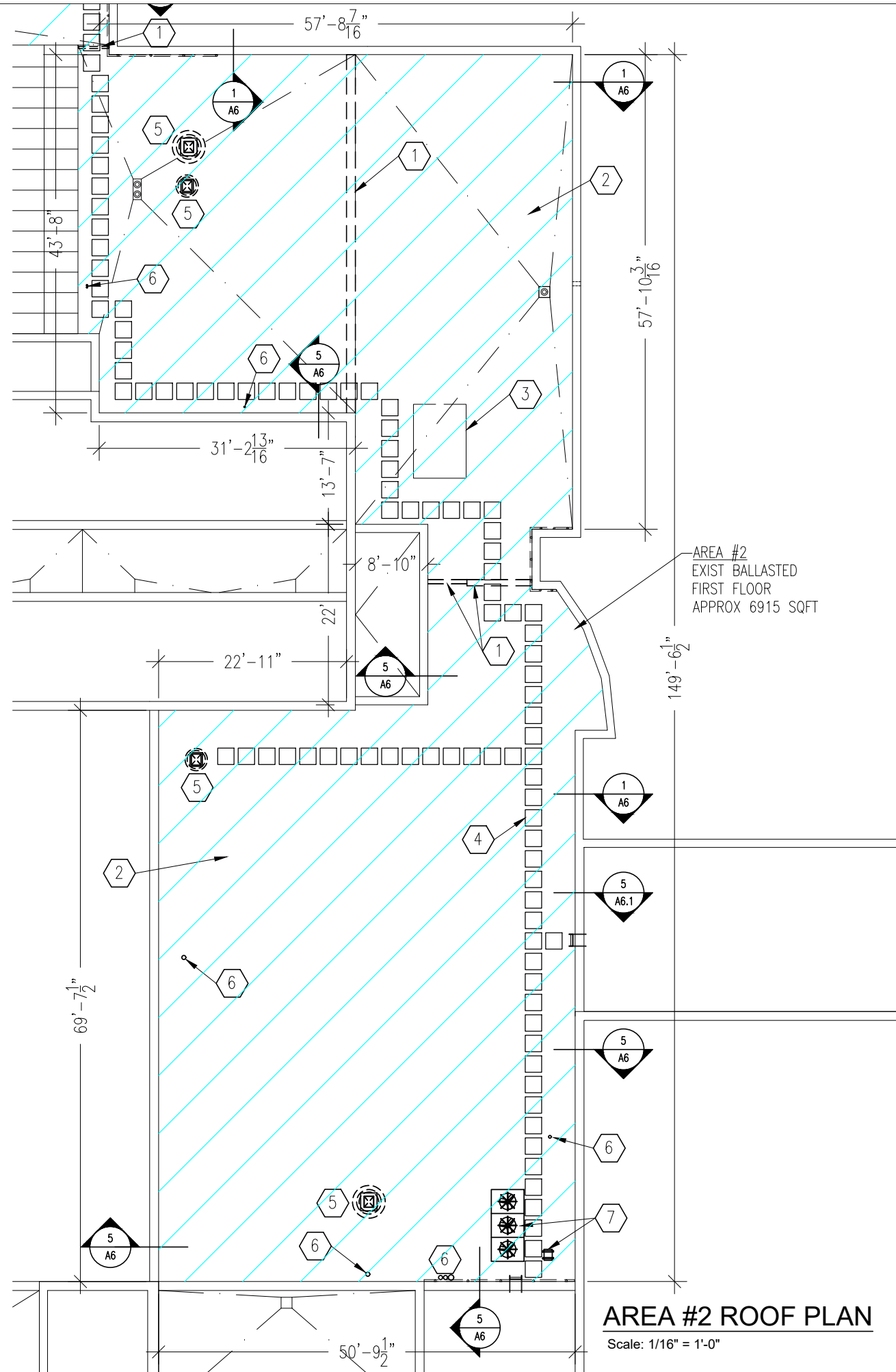


**AREA #1 & 1A ROOF PLAN**

Scale: 1/16" = 1'-0"

**KEYNOTES:**

- ① REMOVE BUILT UP ROOF FRAMING
- ② TEAR OFF EXISTING ROOF DOWN TO EXISTING METAL/CONCRETE DECK. CONTRACTOR WILL TAKE PICTURES OF THE BARE DECK AND PROVIDE THEM TO OWNER FOR HISTORICAL PURPOSES.
- ③ EXISTING CONC ELEVATOR SHAFT COVER TO REMAIN.
- ④ CONTRACTOR TO INSTALL APPROXIMATELY (115) RUBBERIZED WALKING PADS, DEPENDING ON EXACT LOCATION EQUIPMENT & SPACING.
- ⑤ REMOVE ROOFTOP EQUIPMENT FOR DEMO OF ROOFING MATERIAL. REINSTALL ROOFTOP EQUIPMENT WITH NEW ROOFING SYSTEM.
- ⑥ ROOF PENETRATION S.D. 3/A6
- ⑦ ROOFTOP CONDENSING UNITS, COORDINATE WITH VA COR TO TEMPORARILY RAISE UNIT FOR DEMO OF EXISTING ROOF & RE-INSTALLATION OF NEW ROOFING COMPONENTS.



**AREA #2 ROOF PLAN**

Scale: 1/16" = 1'-0"

**ROOF PLAN NOTES**

1. FIELD VERIFY ALL IDENTIFIED SQUARE FOOTAGE AREAS.
2. ALL PLAN DIMENSIONS MUST BE FIELD VERIFIED.
3. CONTRACTOR WILL NOTIFY OWNER OF REQUIRED SHUT DOWNS A MINIMUM OF 72 HOURS IN ADVANCE.
4. ALL ROOF PENETRATIONS SHALL HAVE A MINIMUM OF 8" FLASHING HEIGHT FROM TO OF ROOF INSULATION.
5. ALL HVAC DISCONNECTIONS/RECONNECTIONS WILL BE THE RESPONSIBILITY THE CONTRACTOR.
6. ALL ELECTRICAL DISCONNECTIONS/RECONNECTIONS WILL BE THE RESPONSIBILITY THE CONTRACTOR.
7. CONTRACTOR SHALL PROVIDE NECESSARY OVER FLOW SCUPPERS WHERE IDENTIFIED.
8. CONTRACTOR TO PROVIDE INSULATION DRAWING FOR APPROVAL PRIOR TO INSTALLATION.
9. ALL SURFACES WILL BE DRY PRIOR TO THE INSTALLATION OF ROOFING MATERIALS
10. ENSURE DECK IS PROPERLY PREPARED IN ORDER TO MEET ROOFING MANUFACTURERS INSTALLATION REQUIREMENTS.



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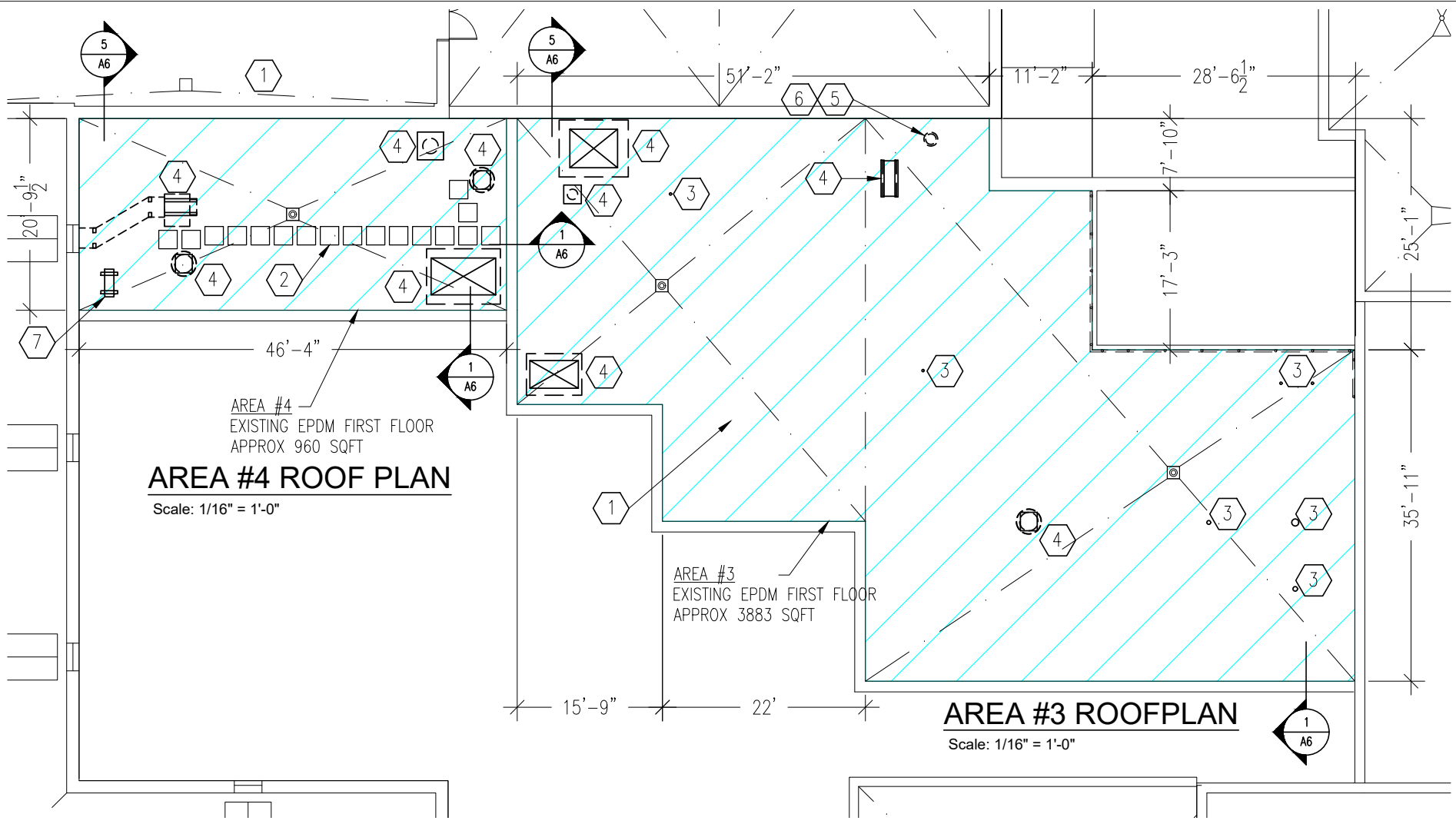
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**First Floor Enlarged Roof Replacement Plan**

Project Title  
**Replace Select Roofs**

Project No. **437-23-125** Date **12/20/2022**

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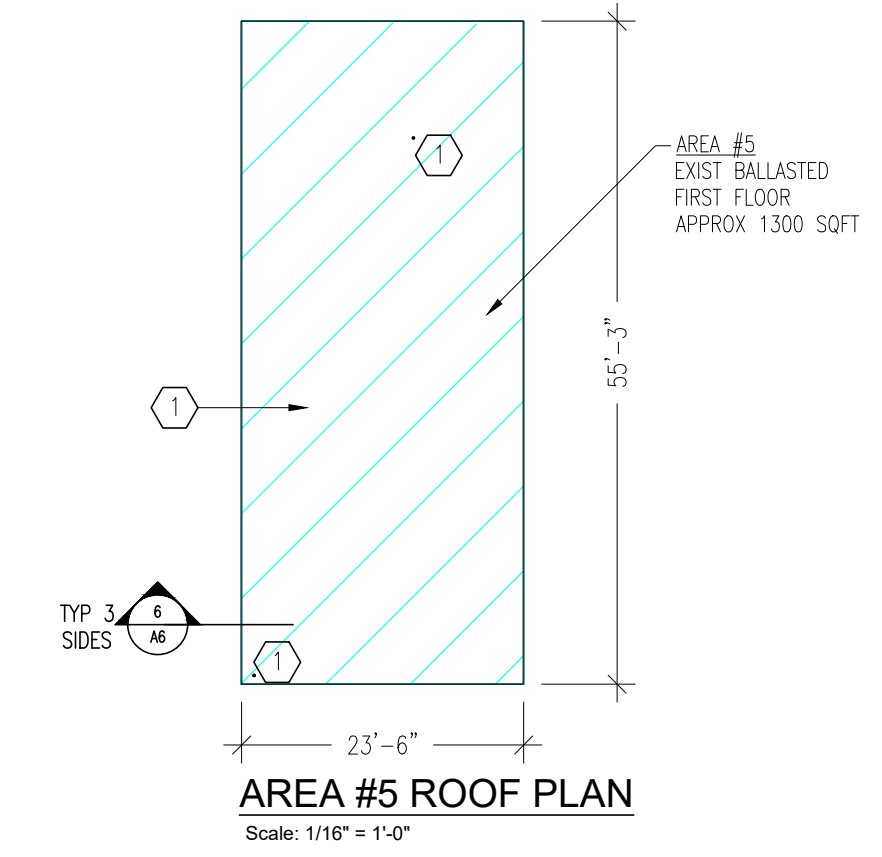


**KEYNOTES:**

- 1 DEMO EXISTING ROOF DOWN TO EXISTING METAL/CONCRETE DECK. CONTRACTOR WILL TAKE PICTURES OF THE BARE CONCRETE DECK AND PROVIDE THEM TO OWNER FOR HISTORICAL PURPOSES.
- 2 CONTRACTOR TO INSTALL APPROXIMATELY (17) RUBBERIZED WALKING PADS, DEPENDING ON EXACT LOCATION OF EQUIPMENT & SPACING.
- 3 ROOF PENETRATIONS S.D. 3/A6
- 4 REMOVE ROOFTOP EQUIPMENT FOR DEMO OF ROOFING MATERIAL. REINSTALL ROOFTOP EQUIPMENT WITH NEW ROOFING SYSTEM.
- 5 DEMO EXISTING ROOFTOP EQUIPMENT, EXISTING ROOF VENT, OR EXISTING CURBING.
- 6 COVER ROOF PENETRATION HOLES USING A 3/8" THICK GALVANIZED STEEL PLATE WITH 4" BEARING AROUND THE PERIMETER OF THE HOLE. ANCHOR PLATE WITH (4) - 1/4" DIAMETER SIMPSON "TITEN-HD" SCREW ANCHORS. S.D. 7/A6.1 FOR FASTENING.
- 7 DEMO EXISTING INACTIVE DISCONNECTED CONDENSER UNIT, CURB, & ASSOCIATED CONTROLS.
- 8 CONTRACTOR TO INSTALL APPROXIMATELY (18) RUBBERIZED WALKING PADS, DEPENDING ON EXACT LOCATION OF EQUIPMENT & SPACING.

**ROOF PLAN NOTES**

- 1. FIELD VERIFY ALL IDENTIFIED SQUARE FOOTAGE AREAS.
- 2. ALL PLAN DIMENSIONS MUST BE FIELD VERIFIED.
- 3. CONTRACTOR WILL NOTIFY OWNER OF REQUIRED SHUT DOWNS A MINIMUM OF 72 HOURS IN ADVANCE.
- 4. ALL ROOF PENETRATIONS SHALL HAVE A MINIMUM OF 8" FLASHING HEIGHT FROM TO OF ROOF INSULATION.
- 5. ALL HVAC DISCONNECTIONS/RECONNECTIONS WILL BE THE RESPONSIBILITY THE CONTRACTOR.
- 6. ALL ELECTRICAL DISCONNECTIONS/RECONNECTIONS WILL BE THE RESPONSIBILITY THE CONTRACTOR.
- 7. CONTRACTOR SHALL PROVIDE NECESSARY OVER FLOW SCUPPERS WHERE IDENTIFIED.
- 8. CONTRACTOR TO PROVIDE INSULATION DRAWING FOR APPROVAL PRIOR TO INSTALLATION.
- 9. ALL SURFACES WILL BE DRY PRIOR TO THE INSTALLATION OF ROOFING MATERIALS
- 10. ENSURE DECK IS PROPERLY PREPARED IN ORDER TO MEET ROOFING MANUFACTURERS INSTALLATION REQUIREMENTS.



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 FARGO, ND 58102

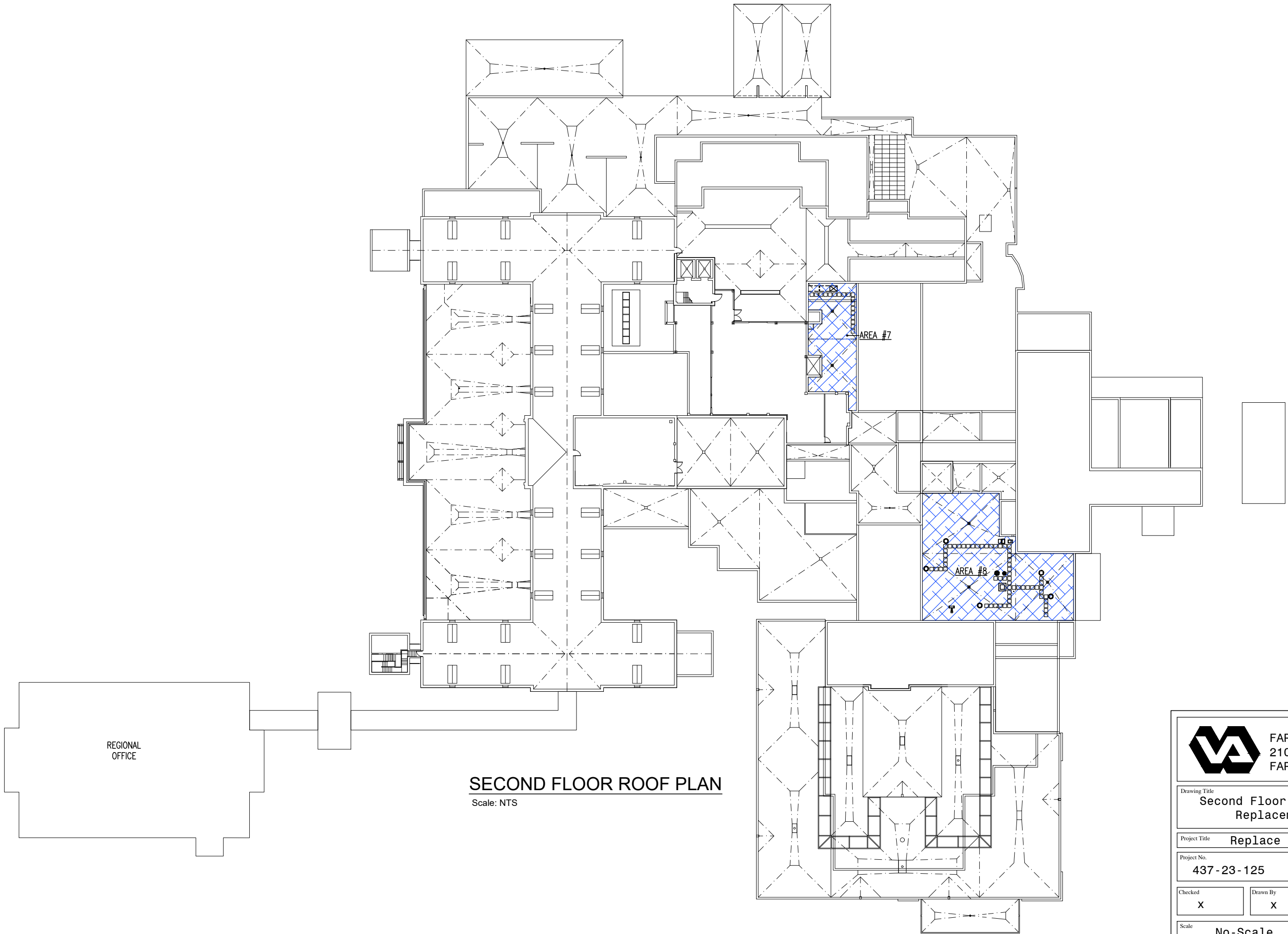
Drawing Title  
**First Floor Enlarged Roof Replacement Plan**

Project Title  
**Replace Select Roofs**

Project No. **437-23-125** Date **12/20/2022**

Checked **X** Drawn By **X** Drawing No. **A1.2**

Scale **1/16" = 1'-0"** 5 of 17



REGIONAL OFFICE

**SECOND FLOOR ROOF PLAN**

Scale: NTS

FARGO VAHCS  
2101 ELM STREET  
FARGO, ND 58102

Drawing Title  
**Second Floor Overview Roof Replacement Plan**

Project Title  
**Replace Selected Roofs**

Project No.  
**437-23-125**

Date  
**12/20/2022**

Checked  
**X**

Drawn By  
**X**

Drawing No.  
**A2**

Scale  
**No-Scale**

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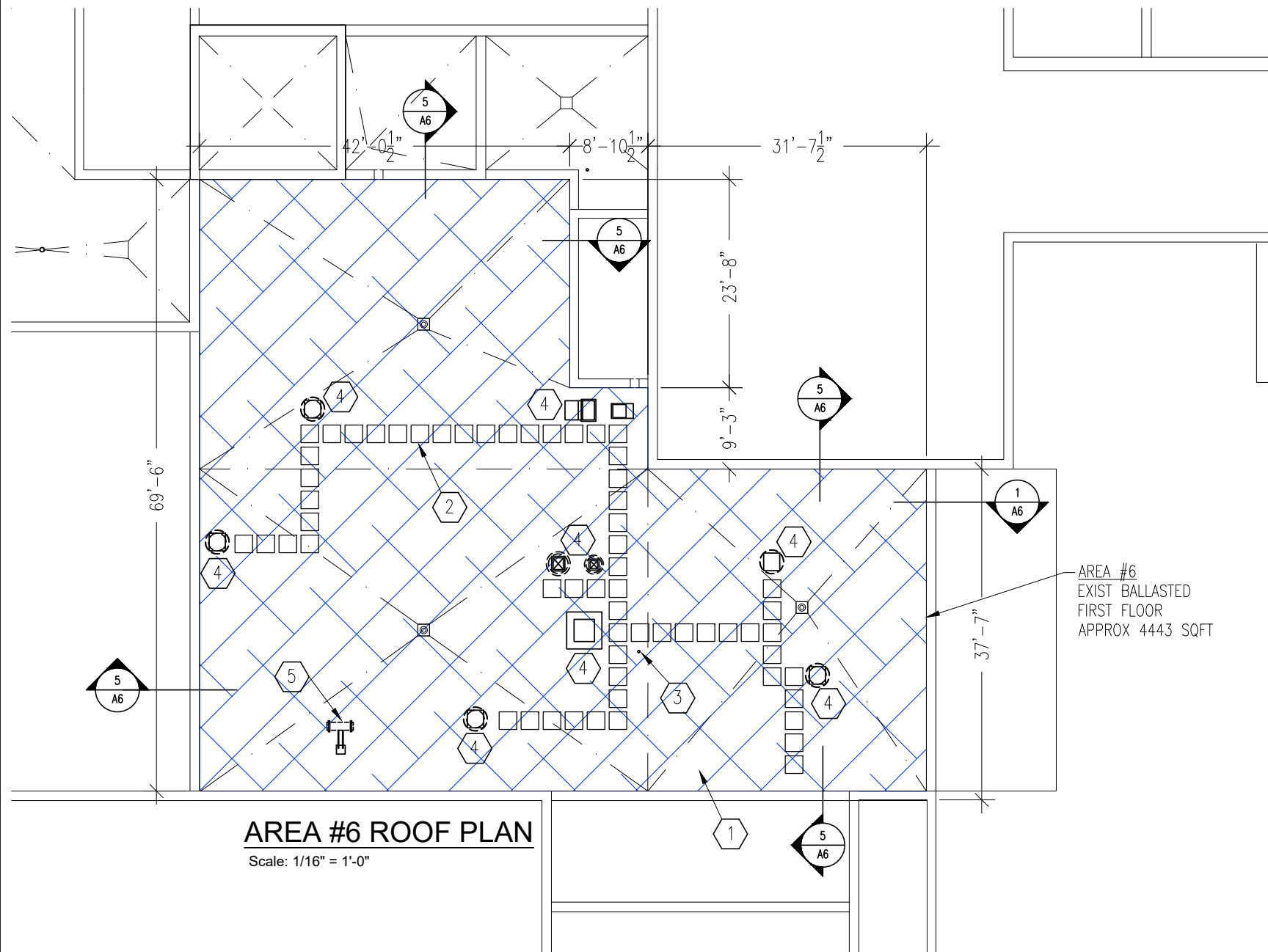


**KEYNOTES:**

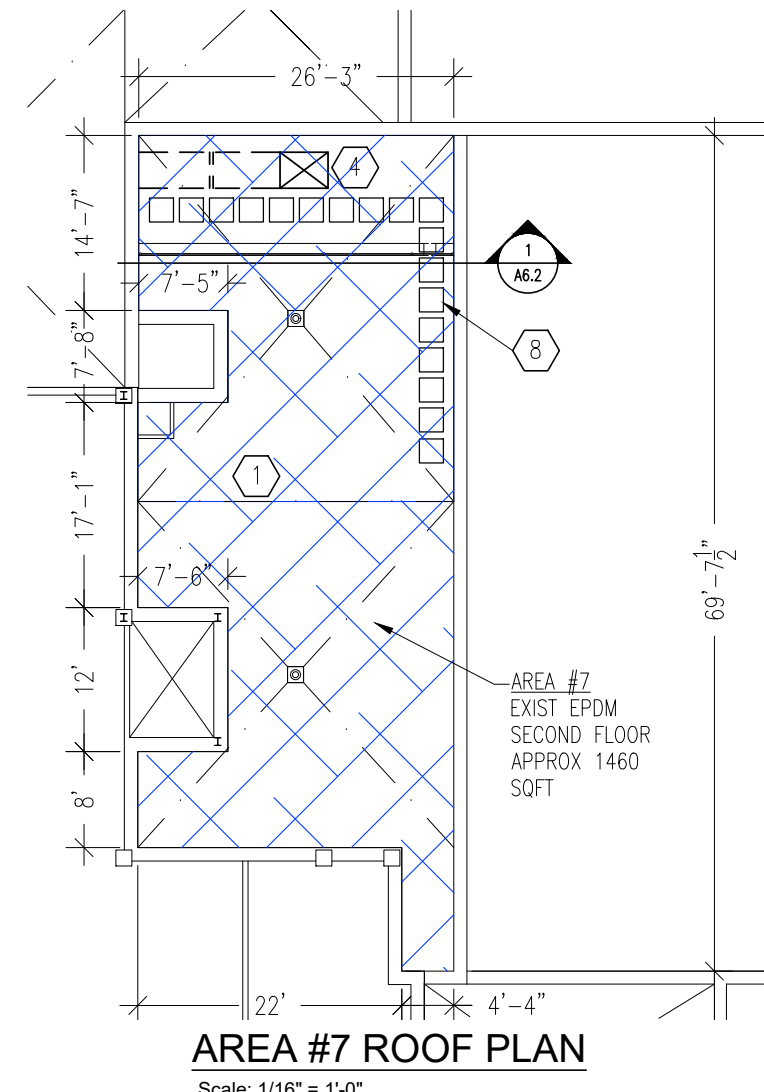
- 1 DEMO EXISTING ROOF DOWN TO EXISTING METAL/CONCRETE DECK. CONTRACTOR WILL TAKE PICTURES OF THE BARE CONCRETE DECK AND PROVIDE THEM TO OWNER FOR HISTORICAL PURPOSES.
- 2 CONTRACTOR TO INSTALL APPROXIMATELY (60) RUBBERIZED WALKING PADS, DEPENDING ON EXACT LOCATION EQUIPMENT & SPACING.
- 3 ROOF PENETRATIONS S.D. 3/A6
- 4 REMOVE ROOFTOP EQUIPMENT FOR DEMO OF ROOFING MATERIAL. REINSTALL ROOFTOP EQUIPMENT WITH NEW ROOFING SYSTEM.
- 5 PREPARE FOR INSTALLATION OF NEW FUTURE CONDENSER & DOGHOUSE. COORDINATE SIZE AND LOCATION WITH EHRM PROJECT CONTRACTOR AND VA COR. INSTALL ADDITIONAL RUBBERIZED WALKING PADS TO NEW EQUIPMENT AREA.

**ROOF PLAN NOTES**


- 1. FIELD VERIFY ALL IDENTIFIED SQUARE FOOTAGE AREAS.
- 2. ALL PLAN DIMENSIONS MUST BE FIELD VERIFIED.
- 3. CONTRACTOR WILL NOTIFY OWNER OF REQUIRED SHUT DOWNS A MINIMUM OF 72 HOURS IN ADVANCE.
- 4. ALL ROOF PENETRATIONS SHALL HAVE A MINIMUM OF 8" FLASHING HEIGHT FROM TO OF ROOF INSULATION.
- 5. ALL HVAC DISCONNECTIONS/RECONNECTIONS WILL BE THE RESPONSIBILITY THE CONTRACTOR.
- 6. ALL ELECTRICAL DISCONNECTIONS/RECONNECTIONS WILL BE THE RESPONSIBILITY THE CONTRACTOR.
- 7. CONTRACTOR SHALL PROVIDE NECESSARY OVER FLOW SCUPPERS WHERE IDENTIFIED.
- 8. CONTRACTOR TO PROVIDE INSULATION DRAWING FOR APPROVAL PRIOR TO INSTALLATION.
- 9. ALL SURFACES WILL BE DRY PRIOR TO THE INSTALLATION OF ROOFING MATERIALS
- 10. ENSURE DECK IS PROPERLY PREPARED IN ORDER TO MEET ROOFING MANUFACTURERS INSTALLATION REQUIREMENTS.



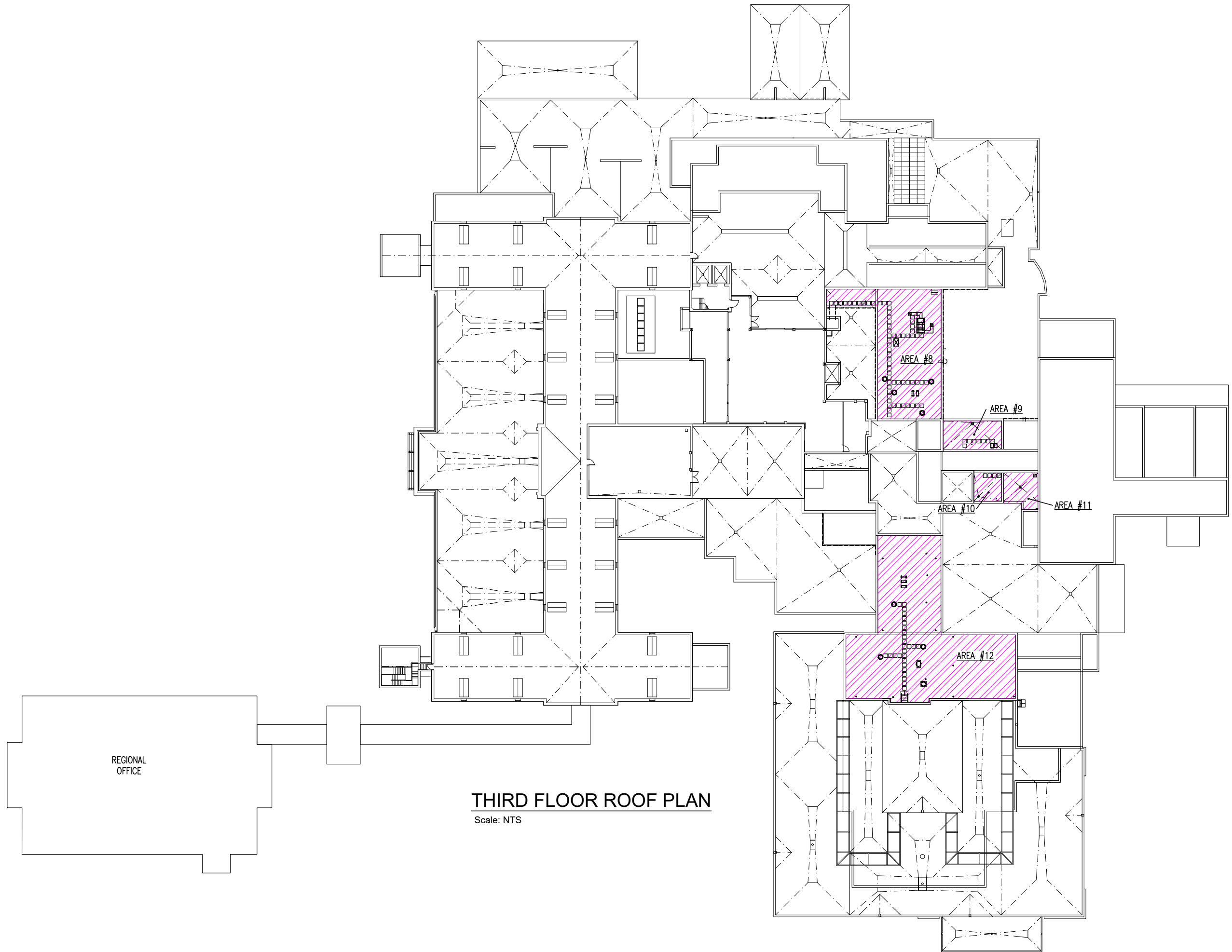
**AREA #6 ROOF PLAN**  
Scale: 1/16" = 1'-0"



**AREA #7 ROOF PLAN**  
Scale: 1/16" = 1'-0"

		FARGO VAHCS 2101 ELM STREET FARGO, ND 58102	
Drawing Title <b>Second Floor Enlarged Roof Replacement Plan</b>			
Project Title <b>Replace Selected Roofs</b>			
Project No. <b>437-23-125</b>		Date <b>12/20/2022</b>	
Checked <b>X</b>	Drawn By <b>X</b>	Drawing No. <b>A2.1</b>	
Scale <b>No-Scale</b>		7 of 17	





REGIONAL OFFICE

**THIRD FLOOR ROOF PLAN**  
Scale: NTS



FARGO VAHCS  
2101 ELM STREET  
FARGO, ND 58102

Drawing Title  
**Third Floor Overview Roof Replacement Plan**

Project Title  
**Replace Selected Roofs**

Project No.  
**437-23-125**

Date  
**12/20/2022**

Checked  
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Drawn By  
**X**

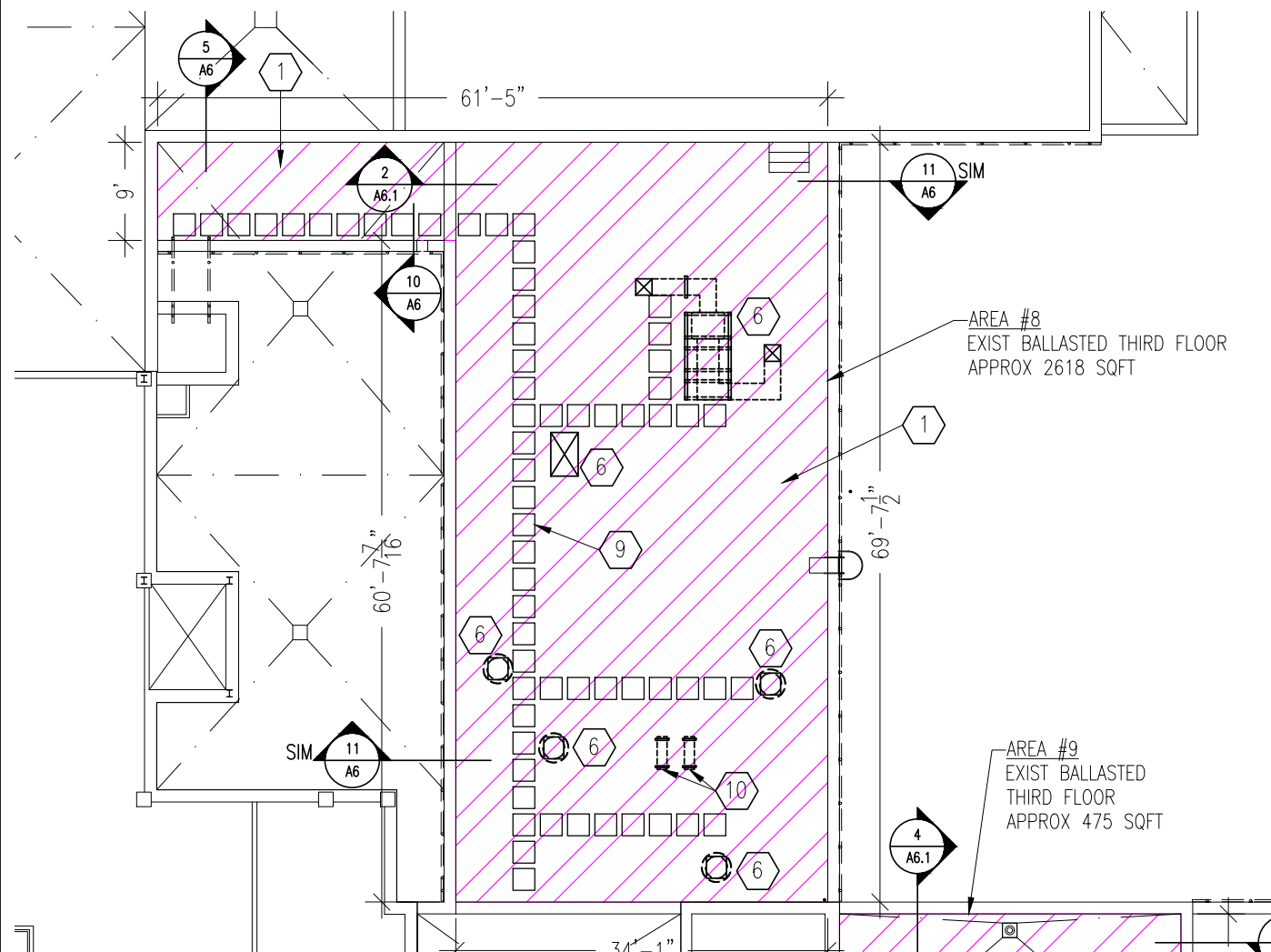
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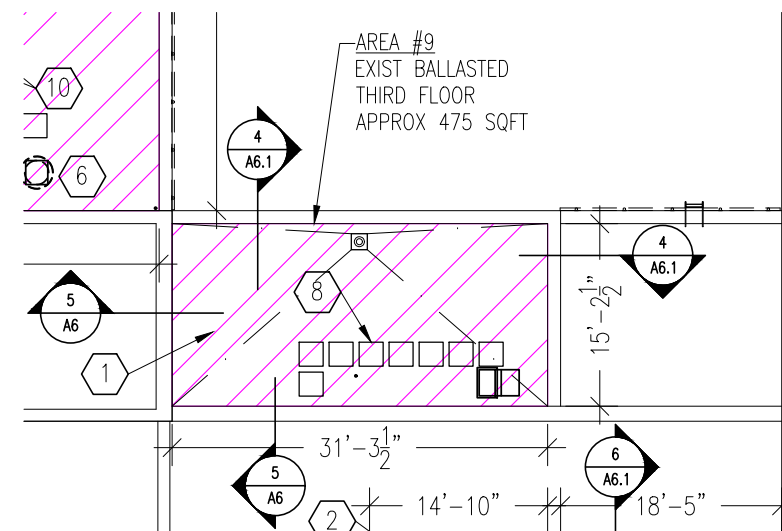
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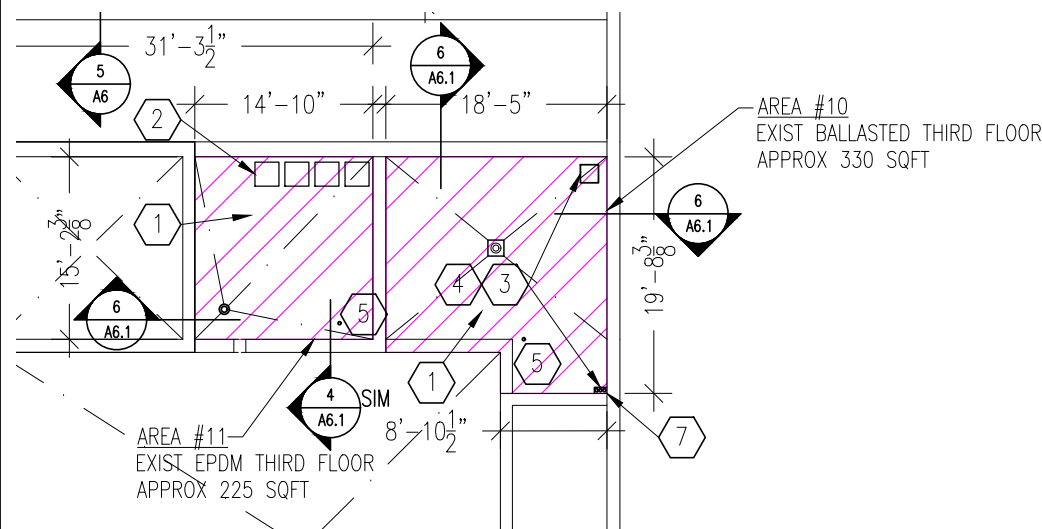
**AREA #8 ROOF PLAN**

Scale: 1/16" = 1'-0"



**AREA #9 ROOF PLAN**

Scale: 1/16" = 1'-0"



**AREA #10 & #11 ROOF PLAN**

Scale: 1/16" = 1'-0"

**KEYNOTES:**

- 1 DEMO EXISTING ROOF DOWN TO EXISTING METAL/CONCRETE DECK. CONTRACTOR WILL TAKE PICTURES OF THE BARE CONCRETE DECK AND PROVIDE THEM TO OWNER FOR HISTORICAL PURPOSES.
- 2 CONTRACTOR TO INSTALL APPROXIMATELY (4) RUBBERIZED WALKING PADS, DEPENDING ON EXACT LOCATION EQUIPMENT & SPACING.
- 3 DEMO EXISTING ROOFTOP EQUIPMENT, EXISTING ROOF VENT, OR EXISTING CURBING.
- 4 COVER ROOF PENETRATION HOLES USING A 3/8" THICK GALVANIZED STEEL PLATE WITH 4" BEARING AROUND THE PERIMETER OF THE HOLE. ANCHOR PLATE WITH (4) - 1/4" DIAMETER SIMPSON "TITEN-HD" SCREW ANCHORS. S.D. 7/A6.1 FOR FASTENING.
- 5 ROOF PENETRATIONS S.D. 3/A6
- 6 REMOVE ROOFTOP EQUIPMENT FOR DEMO OF ROOFING MATERIAL. REINSTALL ROOFTOP EQUIPMENT WITH NEW ROOFING SYSTEM.
- 7 DEMO CONDUIT BELOW THE ROOF DECK. ACCESS PANEL IN ROOM 3E-08.
- 8 CONTRACTOR TO INSTALL APPROXIMATELY (8) RUBBERIZED WALKING PADS, DEPENDING ON EXACT LOCATION EQUIPMENT & SPACING.
- 9 CONTRACTOR TO INSTALL APPROXIMATELY (63) RUBBERIZED WALKING PADS, DEPENDING ON EXACT LOCATION EQUIPMENT & SPACING.
- 10 PREPARE FOR INSTALLATION OF (2) NEW FUTURE CONDENSERS. COORDINATE SIZE AND LOCATION WITH EHRM PROJECT CONTRACTOR AND VA COR. INSTALL ADDITIONAL RUBBERIZED WALKING PADS TO NEW EQUIPMENT AREA.

**ROOF PLAN NOTES**

1. FIELD VERIFY ALL IDENTIFIED SQUARE FOOTAGE AREAS.
2. ALL PLAN DIMENSIONS MUST BE FIELD VERIFIED.
3. CONTRACTOR WILL NOTIFY OWNER OF REQUIRED SHUT DOWNS A MINIMUM OF 72 HOURS IN ADVANCE.
4. ALL ROOF PENETRATIONS SHALL HAVE A MINIMUM OF 8" FLASHING HEIGHT FROM TO OF ROOF INSULATION.
5. ALL HVAC DISCONNECTIONS/RECONNECTIONS WILL BE THE RESPONSIBILITY THE CONTRACTOR.
6. ALL ELECTRICAL DISCONNECTIONS/RECONNECTIONS WILL BE THE RESPONSIBILITY THE CONTRACTOR.
7. CONTRACTOR SHALL PROVIDE NECESSARY OVER FLOW SCUPPERS WHERE IDENTIFIED.
8. CONTRACTOR TO PROVIDE INSULATION DRAWING FOR APPROVAL PRIOR TO INSTALLATION.
9. ALL SURFACES WILL BE DRY PRIOR TO THE INSTALLATION OF ROOFING MATERIALS
10. ENSURE DECK IS PROPERLY PREPARED IN ORDER TO MEET ROOFING MANUFACTURERS INSTALLATION REQUIREMENTS.



FARGO VAHCS  
2101 ELM STREET  
FARGO, ND 58102

Project Title **Third Floor Enlarged Roof Replacement Plan**

Project Title **Replace Selected Roofs**

Project No. **437-23-125**

Date **12/20/2022**

Checked **X**

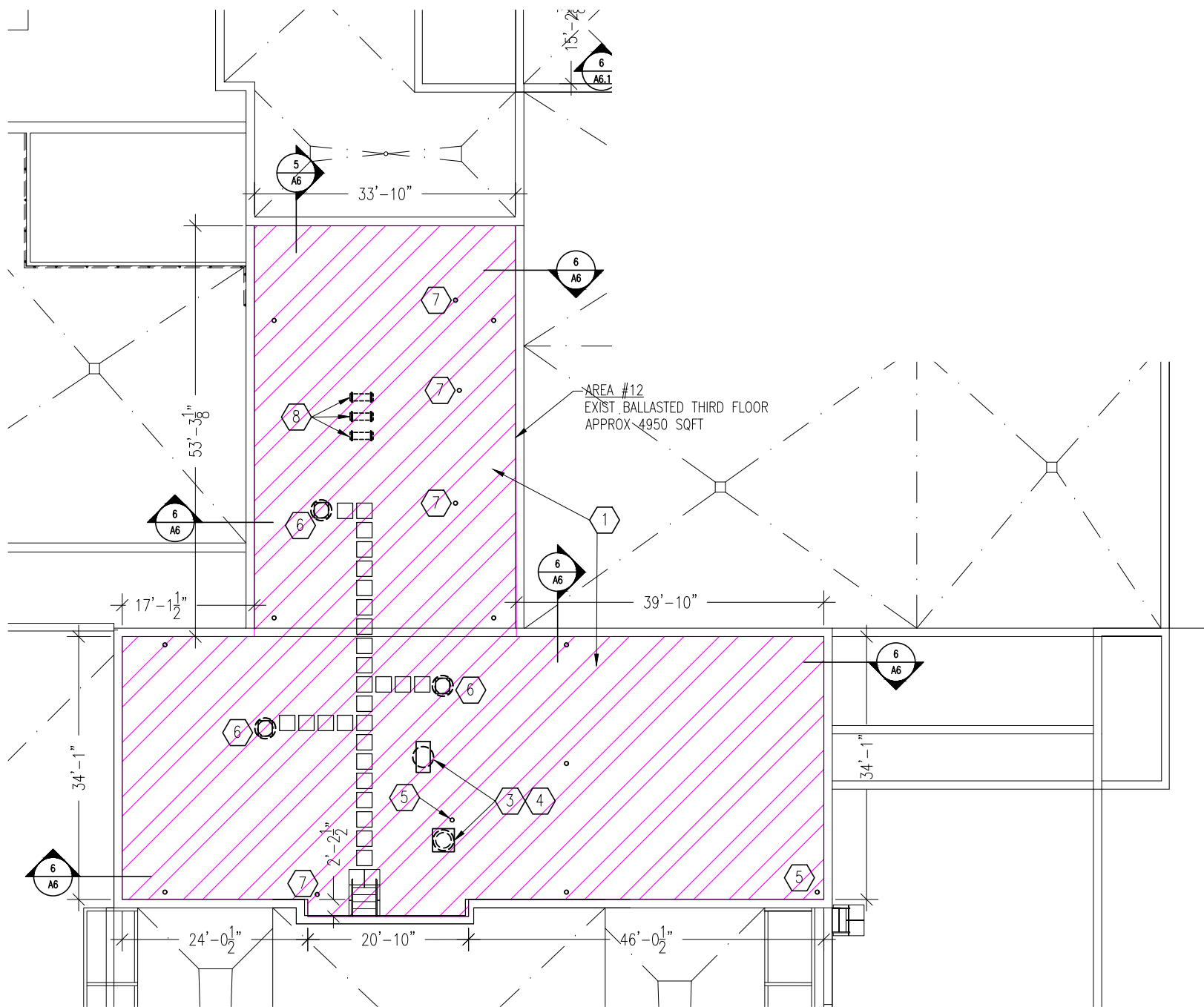
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Drawing No.

**A3.1**

Scale **No-Scale**

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**AREA #12 ROOF PLAN**

Scale: 1/16" = 1'-0"

**KEYNOTES:**

- 1 DEMO EXISTING ROOF DOWN TO EXISTING METAL/CONCRETE DECK. CONTRACTOR WILL TAKE PICTURES OF THE BARE CONCRETE DECK AND PROVIDE THEM TO OWNER FOR HISTORICAL PURPOSES.
- 2 CONTRACTOR TO INSTALL APPROXIMATELY (27) RUBBERIZED WALKING PADS, DEPENDING ON EXACT LOCATION EQUIPMENT & SPACING.
- 3 DEMO EXISTING ROOFTOP EQUIPMENT, EXISTING ROOF VENT, OR EXISTING CURBING.
- 4 COVER ROOF PENETRATION HOLES USING A 3/8" THICK GALVANIZED STEEL PLATE WITH 4" BEARING AROUND THE PERIMETER OF THE HOLE. ANCHOR PLATE WITH (4) - 1/4" DIAMETER SIMPSON "TITEN-HD" SCREW ANCHORS. S.D. 7/A6.1 FOR FASTENING.
- 5 ROOF PENETRATIONS S.D. 2/A6
- 6 REMOVE ROOFTOP EQUIPMENT FOR DEMO OF ROOFING MATERIAL. REINSTALL ROOFTOP EQUIPMENT WITH NEW ROOFING SYSTEM.
- 7 ROOF PENETRATION S.D. 3/A6
- 8 PREPARE FOR INSTALLATION OF (3) NEW FUTURE CONDENSERS. COORDINATE SIZE AND LOCATION WITH EHRM PROJECT CONTRACTOR AND VA COR. INSTALL ADDITIONAL RUBBERIZED WALKING PADS TO NEW EQUIPMENT AREA.

**ROOF PLAN NOTES**

- 1. FIELD VERIFY ALL IDENTIFIED SQUARE FOOTAGE AREAS.
- 2. ALL PLAN DIMENSIONS MUST BE FIELD VERIFIED.
- 3. CONTRACTOR WILL NOTIFY OWNER OF REQUIRED SHUT DOWNS A MINIMUM OF 72 HOURS IN ADVANCE.
- 4. ALL ROOF PENETRATIONS SHALL HAVE A MINIMUM OF 8" FLASHING HEIGHT FROM TO OF ROOF INSULATION.
- 5. ALL HVAC DISCONNECTIONS/RECONNECTIONS WILL BE THE RESPONSIBILITY THE CONTRACTOR.
- 6. ALL ELECTRICAL DISCONNECTIONS/RECONNECTIONS WILL BE THE RESPONSIBILITY THE CONTRACTOR.
- 7. CONTRACTOR SHALL PROVIDE NECESSARY OVER FLOW SCUPPERS WHERE IDENTIFIED.
- 8. CONTRACTOR TO PROVIDE INSULATION DRAWING FOR APPROVAL PRIOR TO INSTALLATION.
- 9. ALL SURFACES WILL BE DRY PRIOR TO THE INSTALLATION OF ROOFING MATERIALS
- 10. ENSURE DECK IS PROPERLY PREPARED IN ORDER TO MEET ROOFING MANUFACTURERS INSTALLATION REQUIREMENTS.



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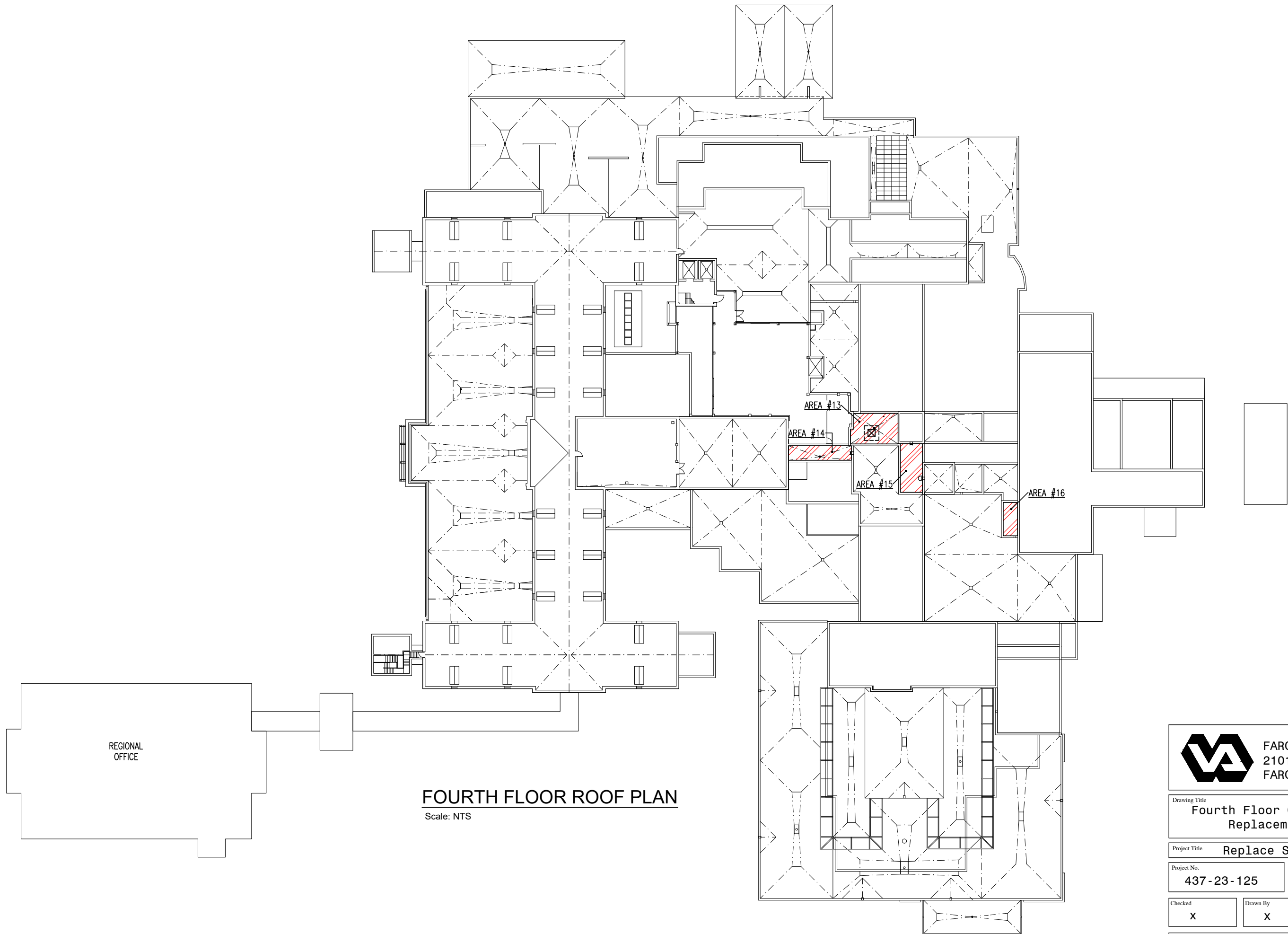
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Project Title  
**Replace Selected Roofs**

Project No. **437-23-125** Date **12/20/2022**

Checked **X** Drawn By **X** Drawing No. **A3.2**

Scale **No-Scale** 10 of 17



**FOURTH FLOOR ROOF PLAN**

Scale: NTS

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Drawing Title  
**Fourth Floor Overview Roof Replacement Plan**

Project Title  
**Replace Selected Roofs**

Project No.  
**437-23-125**

Date  
**12/20/2022**

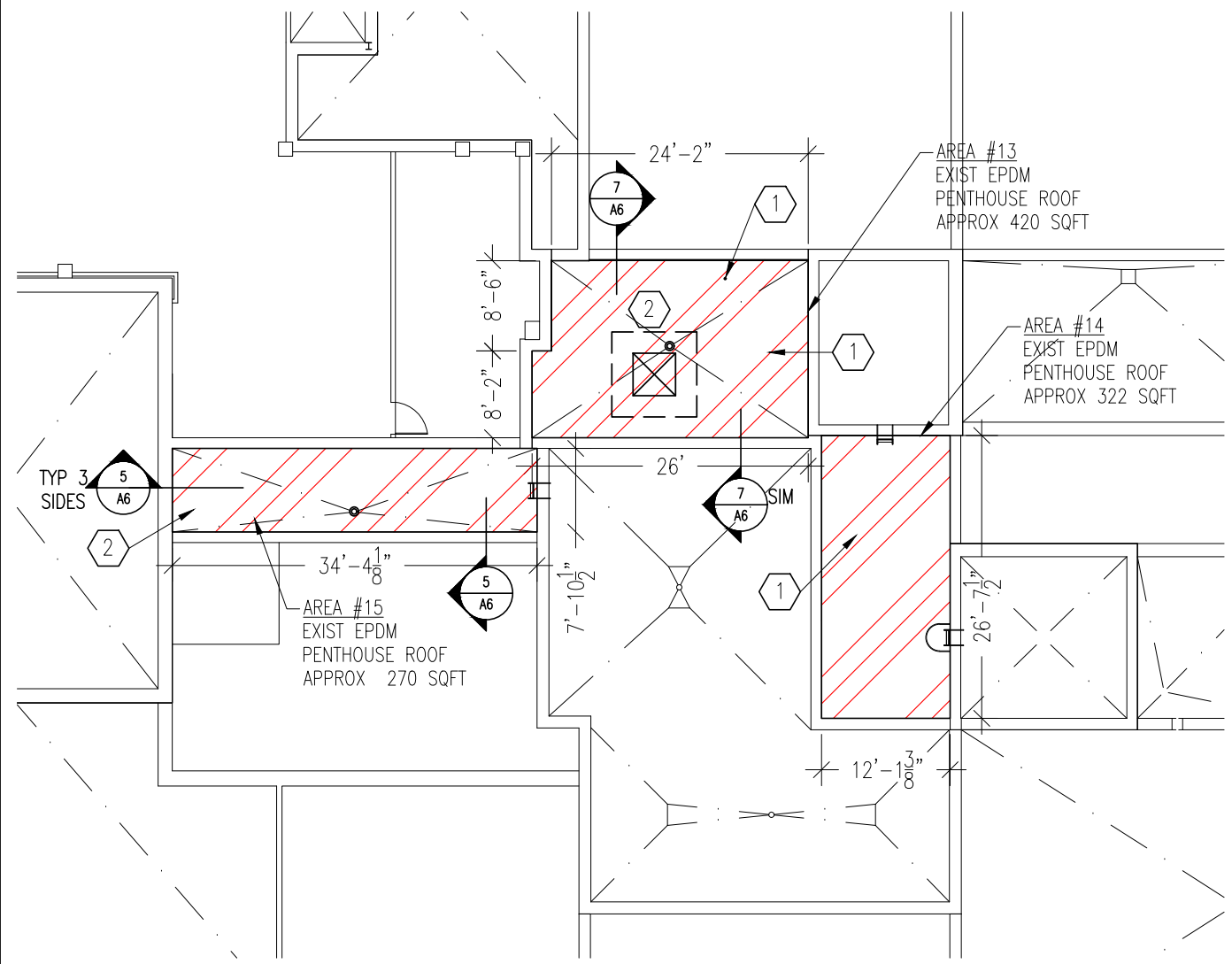
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Drawing No.  
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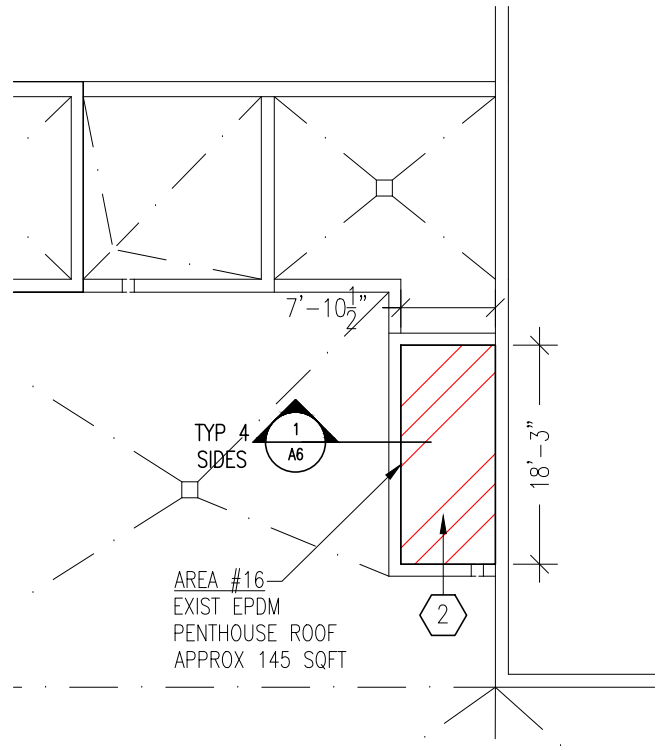
Scale  
**No-Scale**

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**AREA #13, #14, #15 ROOF PLAN**

Scale: 1/16" = 1'-0"



**AREA #16 ROOF PLAN**

Scale: 1/16" = 1'-0"

**KEYNOTES:**

- ① DEMO EXISTING ROOF DOWN TO EXISTING METAL/CONCRETE DECK. CONTRACTOR WILL TAKE PICTURES OF THE BARE CONCRETE DECK AND PROVIDE THEM TO OWNER FOR HISTORICAL PURPOSES.
- ② REMOVE ROOFTOP EQUIPMENT FOR DEMO OF ROOFING MATERIAL. REINSTALL ROOFTOP EQUIPMENT WITH NEW ROOFING SYSTEM.
- ③ ROOF PENETRATION S.D. 3/A6

**ROOF PLAN NOTES**

- 1. FIELD VERIFY ALL IDENTIFIED SQUARE FOOTAGE AREAS.
- 2. ALL PLAN DIMENSIONS MUST BE FIELD VERIFIED.
- 3. CONTRACTOR WILL NOTIFY OWNER OF REQUIRED SHUT DOWNS A MINIMUM OF 72 HOURS IN ADVANCE.
- 4. ALL ROOF PENETRATIONS SHALL HAVE A MINIMUM OF 8" FLASHING HEIGHT FROM TO OF ROOF INSULATION.
- 5. ALL HVAC DISCONNECTIONS/RECONNECTIONS WILL BE THE RESPONSIBILITY THE CONTRACTOR.
- 6. ALL ELECTRICAL DISCONNECTIONS/RECONNECTIONS WILL BE THE RESPONSIBILITY THE CONTRACTOR.
- 7. CONTRACTOR SHALL PROVIDE NECESSARY OVER FLOW SCUPPERS WHERE IDENTIFIED.
- 8. CONTRACTOR TO PROVIDE INSULATION DRAWING FOR APPROVAL PRIOR TO INSTALLATION.
- 9. ALL SURFACES WILL BE DRY PRIOR TO THE INSTALLATION OF ROOFING MATERIALS
- 10. ENSURE DECK IS PROPERLY PREPARED IN ORDER TO MEET ROOFING MANUFACTURERS INSTALLATION REQUIREMENTS.



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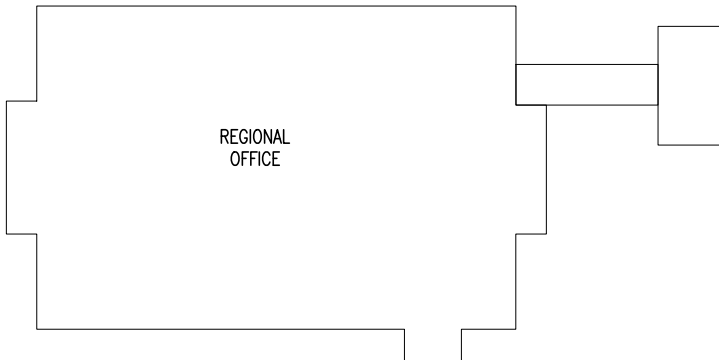
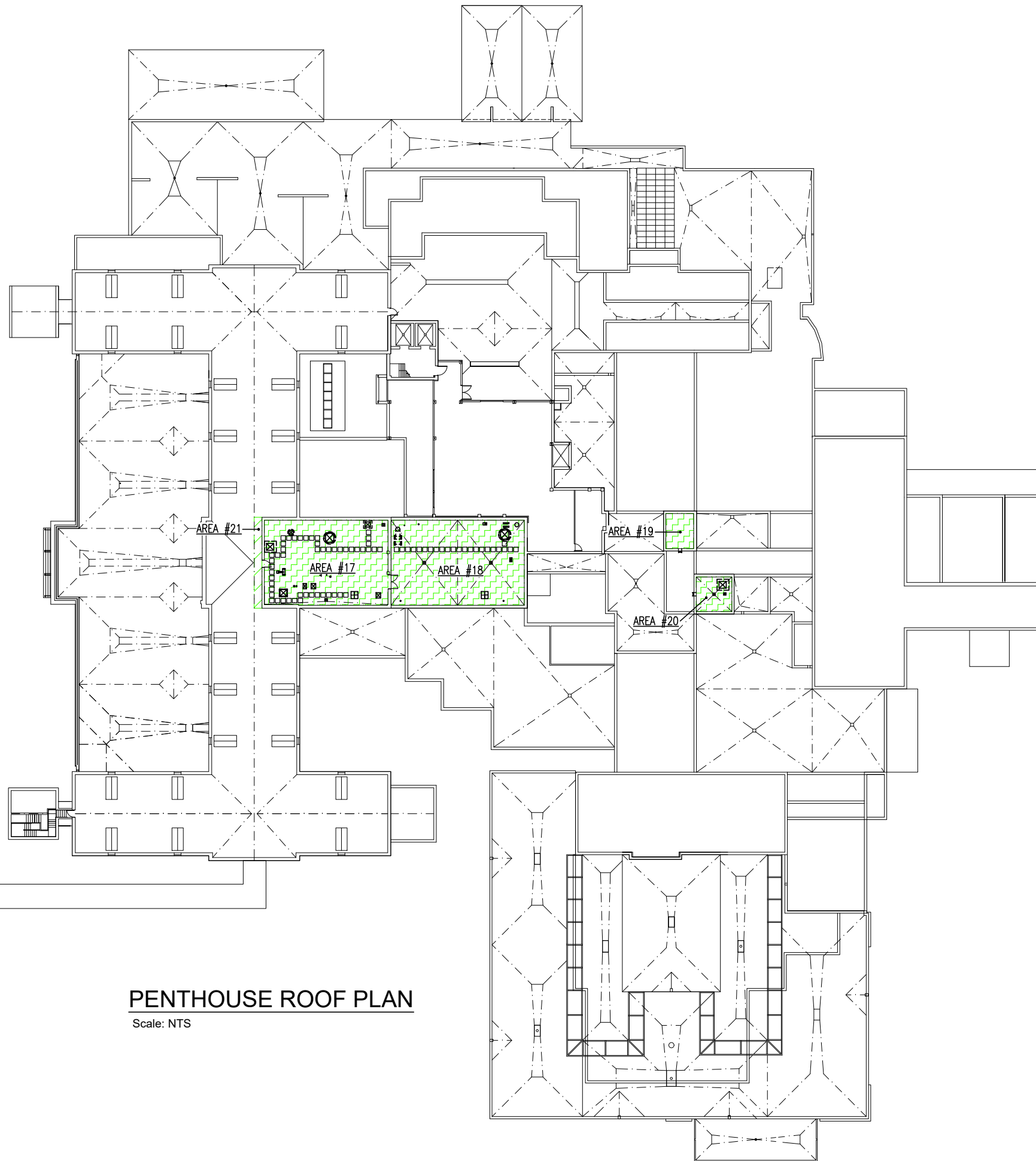
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Project Title  
**Replace Selected Roofs**

Project No. <b>437-23-125</b>	Date <b>12/20/2022</b>
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Checked <b>X</b>	Drawn By <b>X</b>	Drawing No. <b>A4.1</b>
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Scale <b>No-Scale</b>	<b>12 of 17</b>
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**PENTHOUSE ROOF PLAN**

Scale: NTS



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Drawing Title  
**Penthouse Overview Roof Replacement Plan**

Project Title  
**Replace Selected Roofs**

Project No.  
**437-23-125**

Date  
**12/20/2022**

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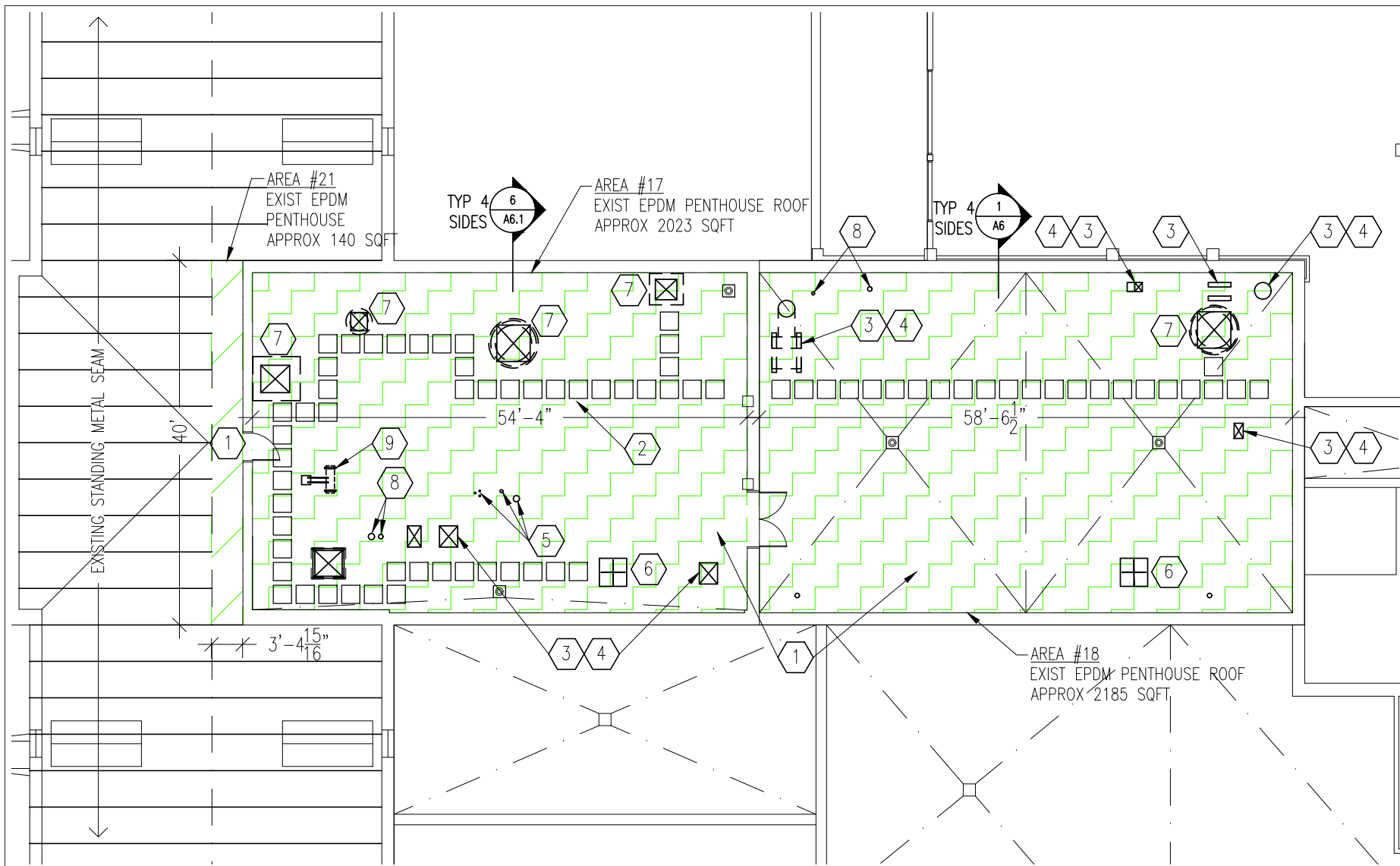
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Drawing No.

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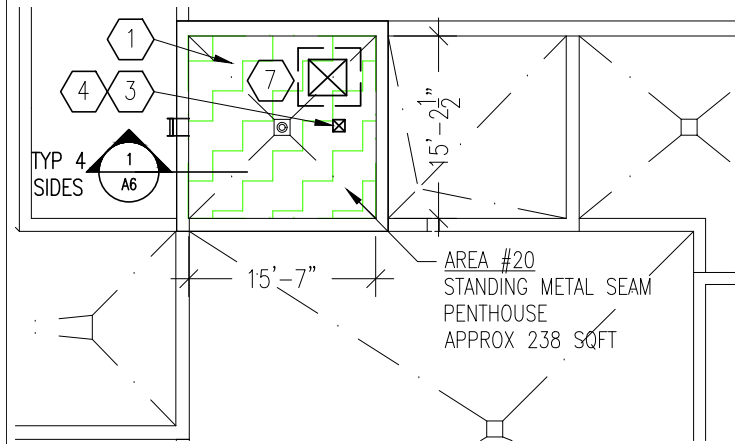
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13 of 17



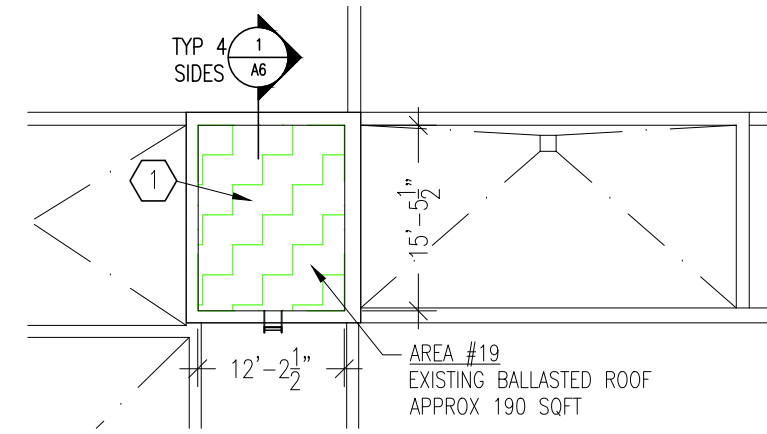
**AREA #17 & 18 ROOF PLAN**

Scale: 1/16" = 1'-0"



**AREA #20 ROOF PLAN**

Scale: 1/16" = 1'-0"



**AREA #19 ROOF PLAN**

Scale: 1/16" = 1'-0"

**ROOF PLAN NOTES**

1. FIELD VERIFY ALL IDENTIFIED SQUARE FOOTAGE AREAS.
2. ALL PLAN DIMENSIONS MUST BE FIELD VERIFIED.
3. CONTRACTOR WILL NOTIFY OWNER OF REQUIRED SHUT DOWNS A MINIMUM OF 72 HOURS IN ADVANCE.
4. ALL ROOF PENETRATIONS SHALL HAVE A MINIMUM OF 8" FLASHING HEIGHT FROM TO OF ROOF INSULATION.
5. ALL HVAC DISCONNECTIONS/RECONNECTIONS WILL BE THE RESPONSIBILITY THE CONTRACTOR.
6. ALL ELECTRICAL DISCONNECTIONS/RECONNECTIONS WILL BE THE RESPONSIBILITY THE CONTRACTOR.
7. CONTRACTOR SHALL PROVIDE NECESSARY OVER FLOW SCUPPERS WHERE IDENTIFIED.
8. CONTRACTOR TO PROVIDE INSULATION DRAWING FOR APPROVAL PRIOR TO INSTALLATION.
9. ALL SURFACES WILL BE DRY PRIOR TO THE INSTALLATION OF ROOFING MATERIALS
10. ENSURE DECK IS PROPERLY PREPARED IN ORDER TO MEET ROOFING MANUFACTURERS INSTALLATION REQUIREMENTS.

**KEYNOTES:**

- 1 DEMO EXISTING ROOF DOWN TO EXISTING METAL/CONCRETE DECK. CONTRACTOR WILL TAKE PICTURES OF THE BARE CONCRETE DECK AND PROVIDE THEM TO OWNER FOR HISTORICAL PURPOSES.
- 2 CONTRACTOR TO INSTALL APPROXIMATELY (73) RUBBERIZED WALKING PADS, DEPENDING ON EXACT LOCATION EQUIPMENT & SPACING.
- 3 DEMO EXISTING ROOFTOP EQUIPMENT, EXISTING ROOF VENT, OR EXISTING CURBING.
- 4 COVER ROOF PENETRATION HOLES USING A 3/8" THICK GALVANIZED STEEL PLATE WITH 4" BEARING AROUND THE PERIMETER OF THE HOLE. ANCHOR PLATE WITH (4) - 1/4" DIAMETER SIMPSON "TITEN-HD" SCREW ANCHORS. S.D. 7/A6.1 FOR FASTENING.
- 5 ROOF PENETRATIONS S.D. 2/A6
- 6 ANTENNA REMOVAL FOR ROOFING INSTALLATION WILL NEED TO BE COORDINATED. CONTACT VA COR TO MAKE ARRANGEMENTS IN ADVANCE.
- 7 REMOVE ROOFTOP EQUIPMENT FOR DEMO OF ROOFING MATERIAL. REINSTALL ROOFTOP EQUIPMENT WITH NEW ROOFING SYSTEM.
- 8 ROOF PENETRATION S.D. 3/A6
- 9 PREPARE FOR INSTALLATION OF NEW FUTURE CONDENSER & DOGHOUSE. COORDINATE SIZE AND LOCATION WITH EHRM PROJECT CONTRACTOR AND VA COR. INSTALL ADDITIONAL RUBBERIZED WALKING PADS TO NEW EQUIPMENT AREA.

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Project Title: **Penthouse Enlarged Roof Replacement Plan**

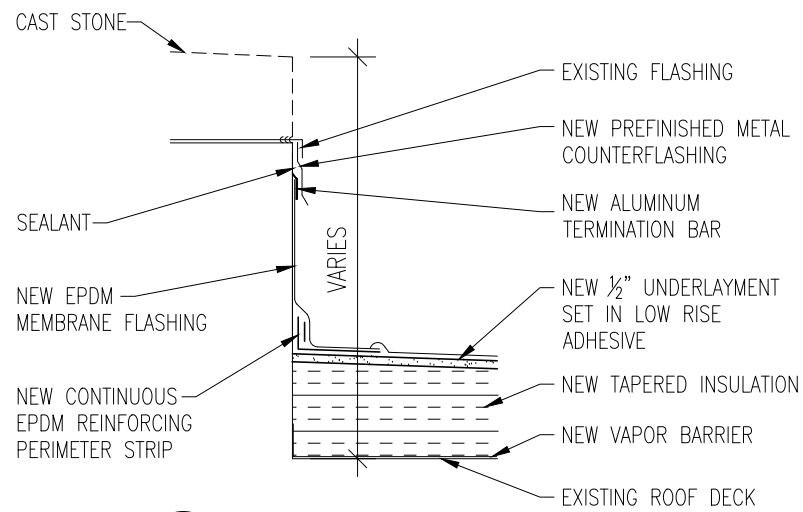
Project Title: **Replace Selected Roofs**

Project No. **437-23-125** Date **12/20/2022**

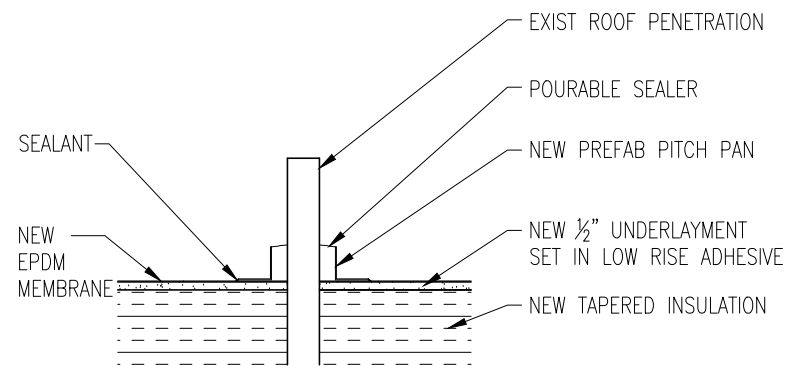
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Scale **No-Scale** 14 of 17

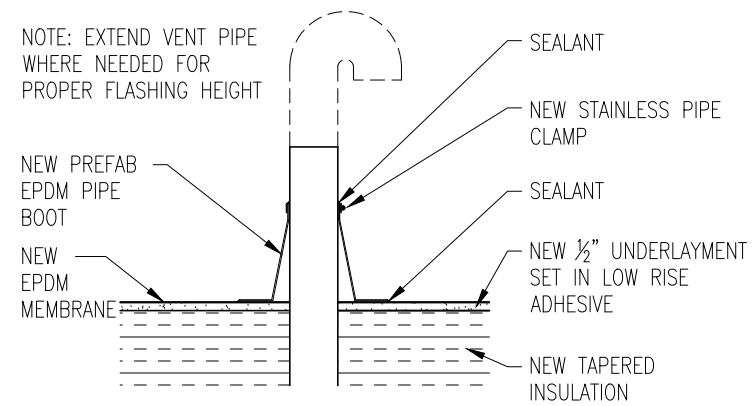




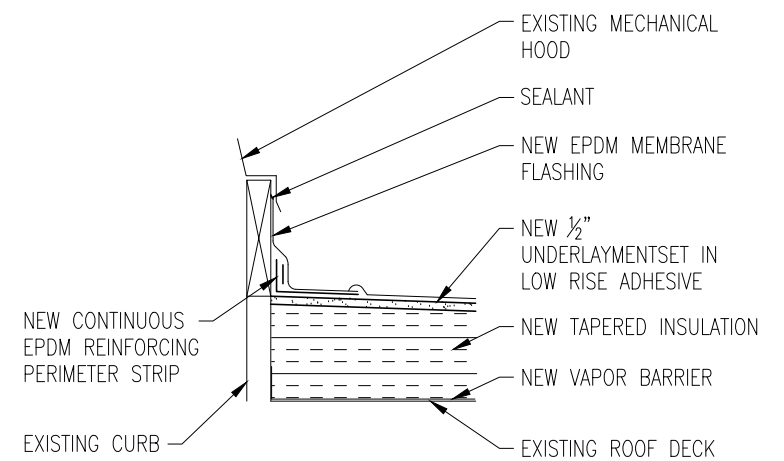
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A6 Scale: 1"= 1'-0"



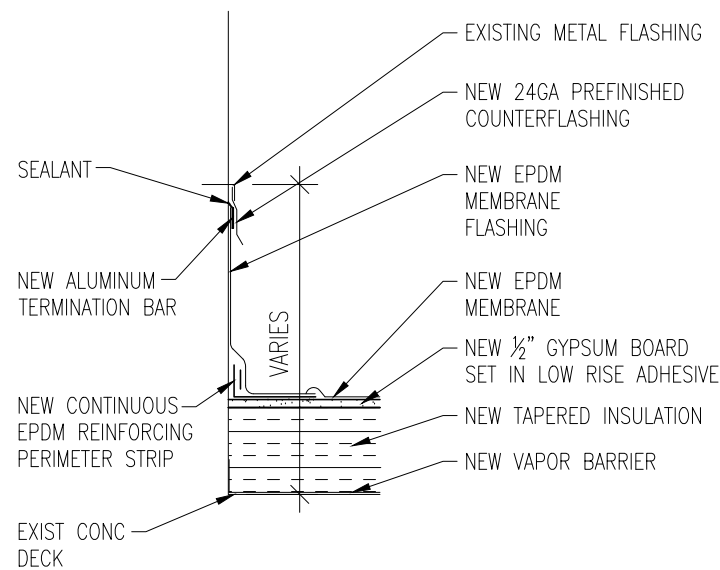
**2 PITCH PAN DETAIL**  
A6 Scale: 1"=1'-0"



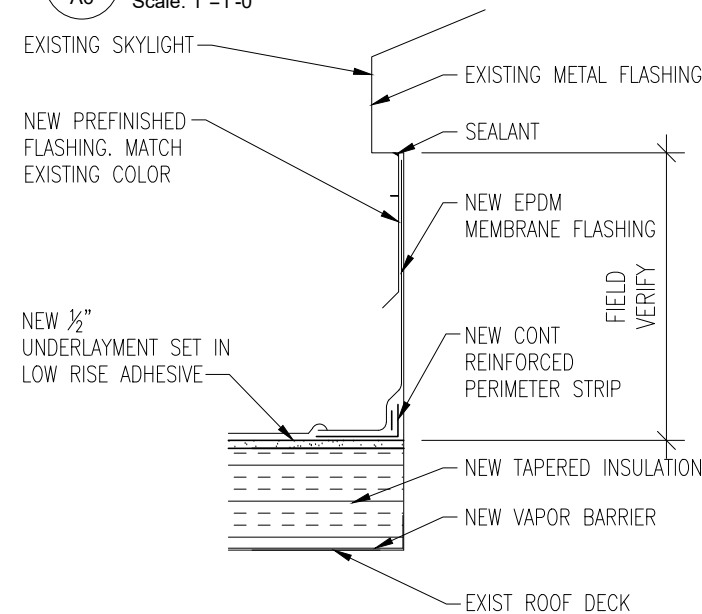
**3 ROOF PIPE DETAIL**  
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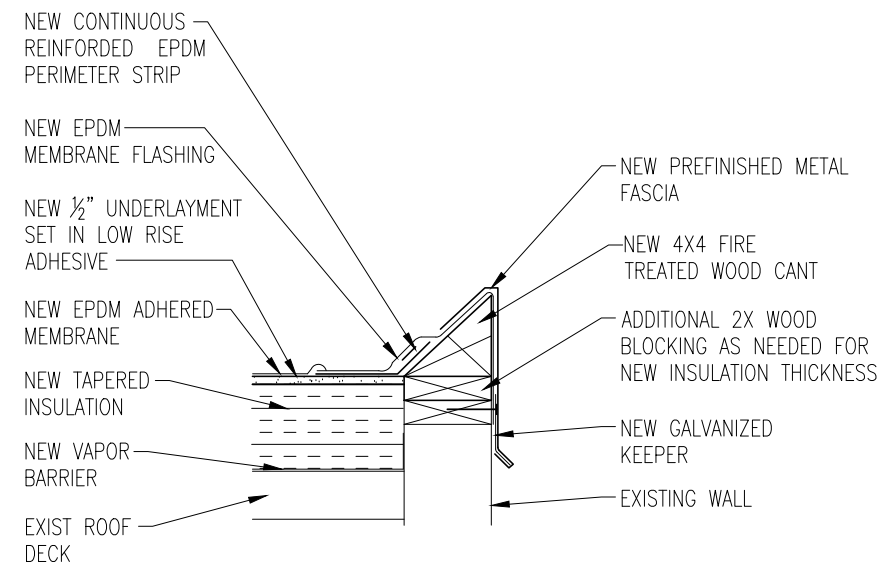
**4 CURB DETAIL**  
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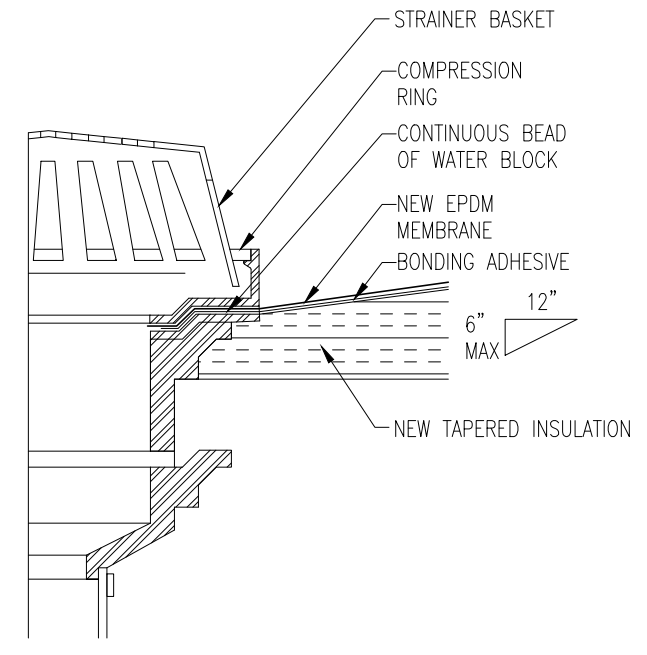
**5 ROOF TO WALL DETAIL**  
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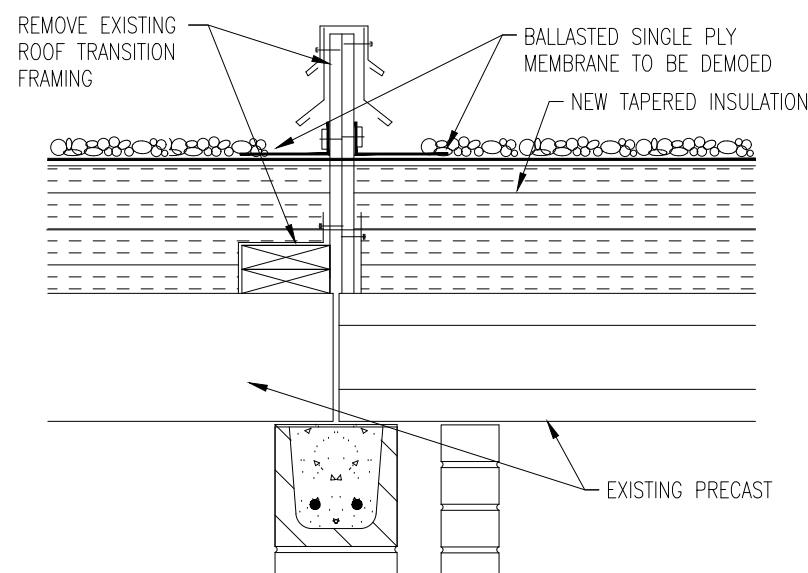
**6 ROOF TO SKYLIGHT DETAIL**  
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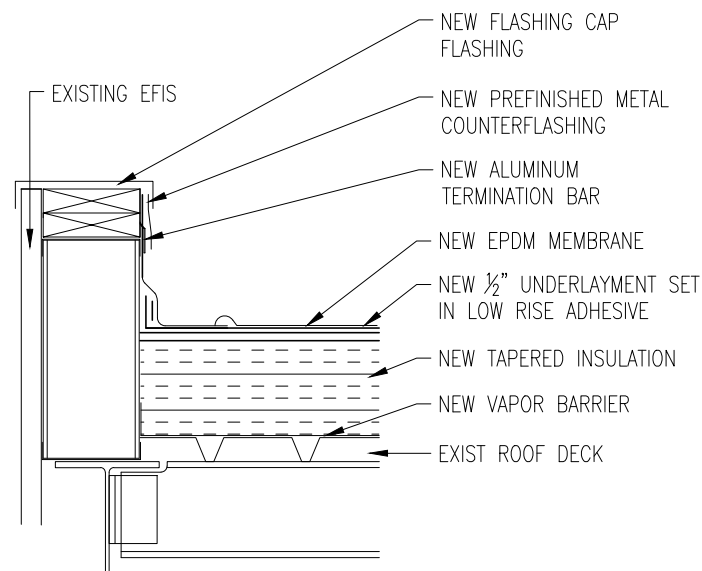
**7 ROOF TO PARAPET DETAIL**  
A6 Scale: 1"=1'-0"



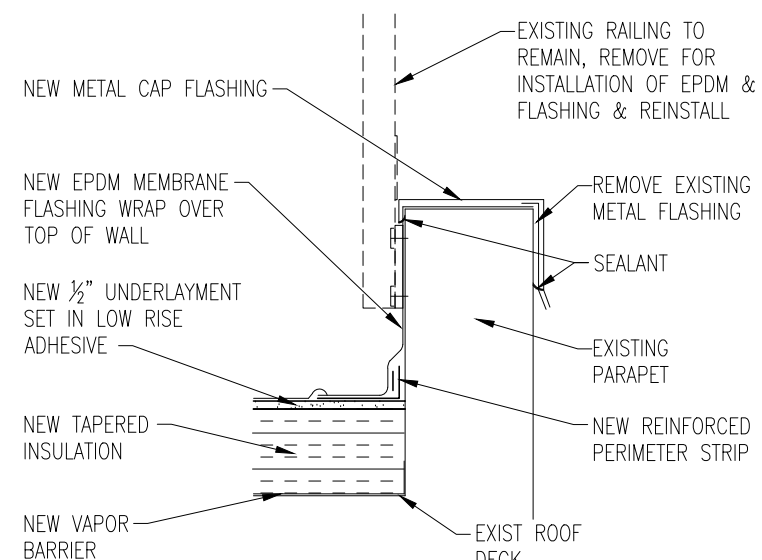
**8 ROOF TO WALL DETAIL**  
A6 Scale: 1"=1'-0"



**9 EXISTING ROOF TRANSITION DETAIL**  
A6 Scale: 1"=1'-0"



**10 EXISTING ROOF EDGE DETAIL**  
A6 Scale: 1"=1'-0"



**11 ROOF TO PARAPET DETAIL**  
A6 Scale: 1"=1'-0"

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Drawing Title: **ROOFING DETAILS**

Project Title: **Replace Selected Roofs**

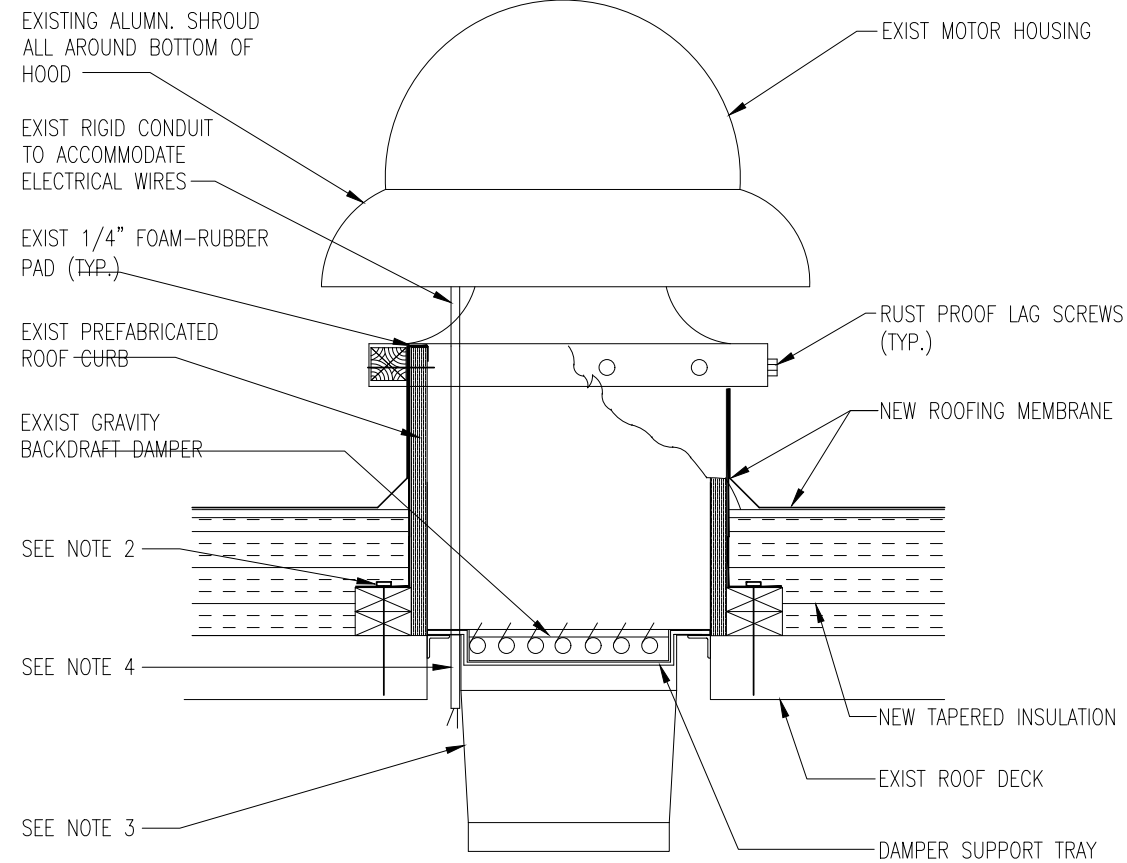
Project No. **437-23-125** Date **12/20/2022**

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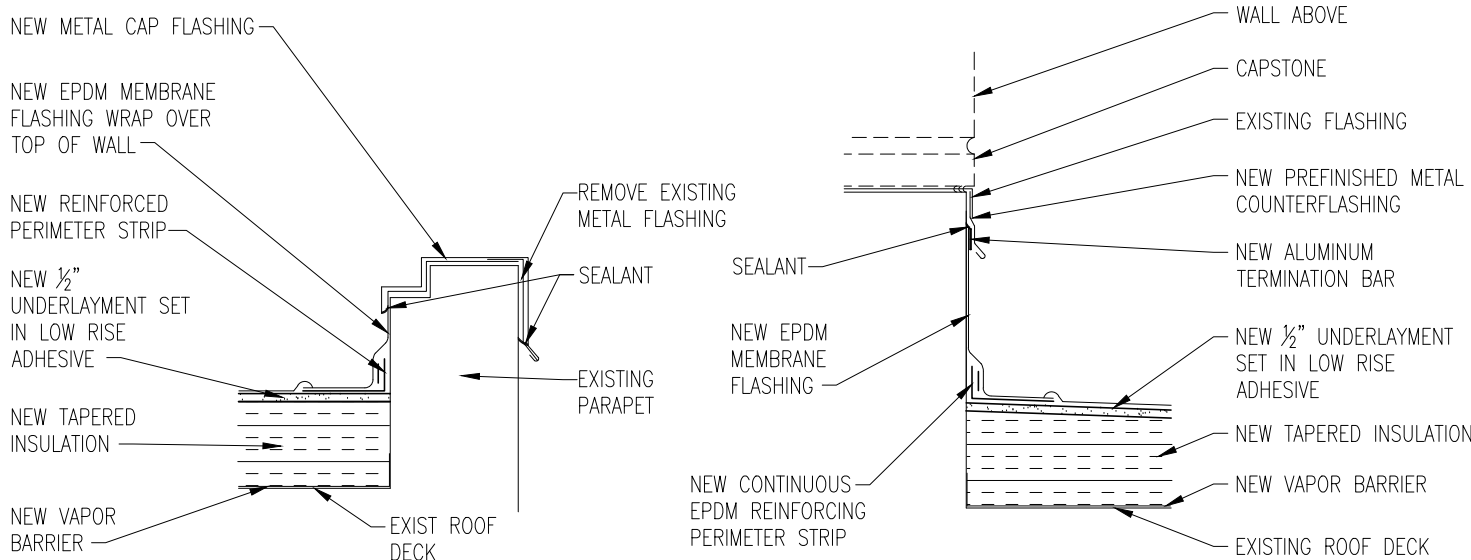
Scale **1" = 1'-0"** 15 of 17

**NOTE:**

1. SECURE CURB CAP TO WOOD NAILING STRIP WITH 3/8" [10mm] CADMIUM PLATED LAG BOLTS @ 12" [305mm] ON CENTER.
2. SECURE ROOF CURB, DUCTWORK AND DAMPER TO ROOF WITH EXPANSION BOLTS (CONCRETE ROOF) OR RUST RESISTANT BOLTS (METAL DECK AND BAR JOIST ROOF).
3. SIZE OF DUCT THROUGH ROOF SHALL NOT BE LARGER THAN CURB SUPPLIED WITH ROOF VENTILATOR.
4. RUN ELECTRICAL LINES THROUGH CLEARANCE HOLE PROVIDED IN GRAVITY DAMPER, THEN THROUGH VENTILATOR ELECTRICAL CONDUIT GUIDE.

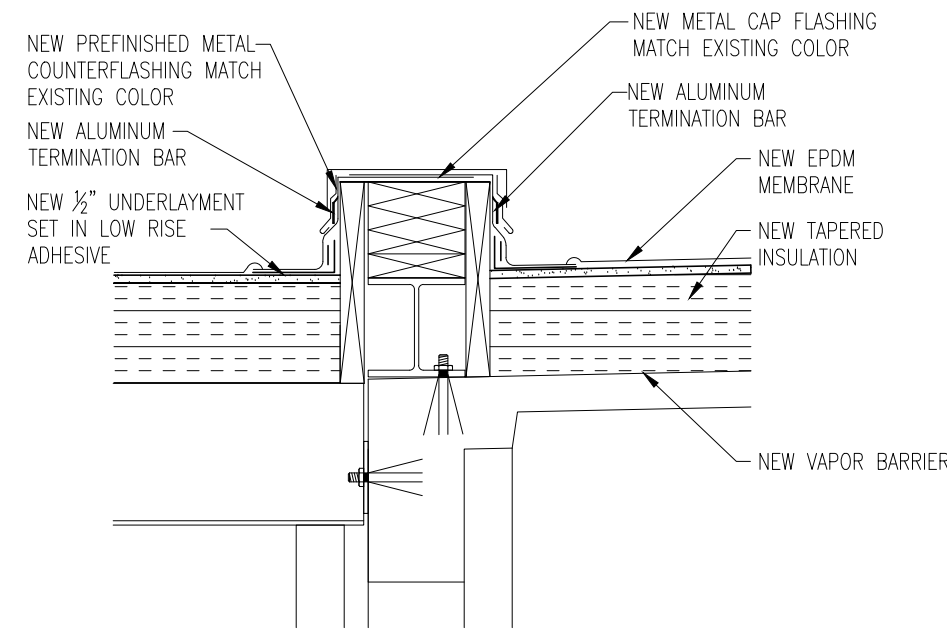


**1 TYP POWER TYPE COVER DETAIL**  
A6.1 Scale: 1"=1'-0"

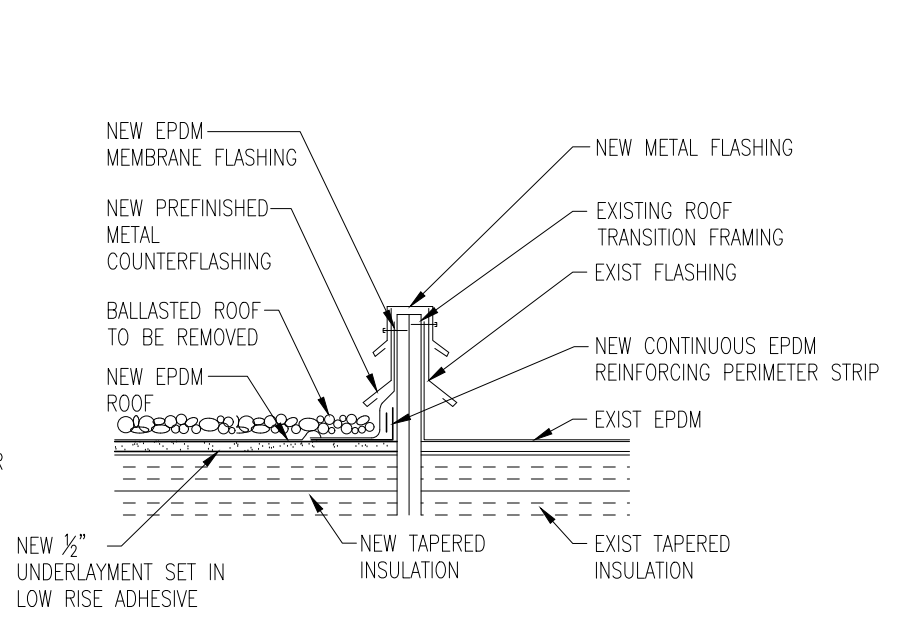


**4 ROOF TO PARAPET DETAIL**  
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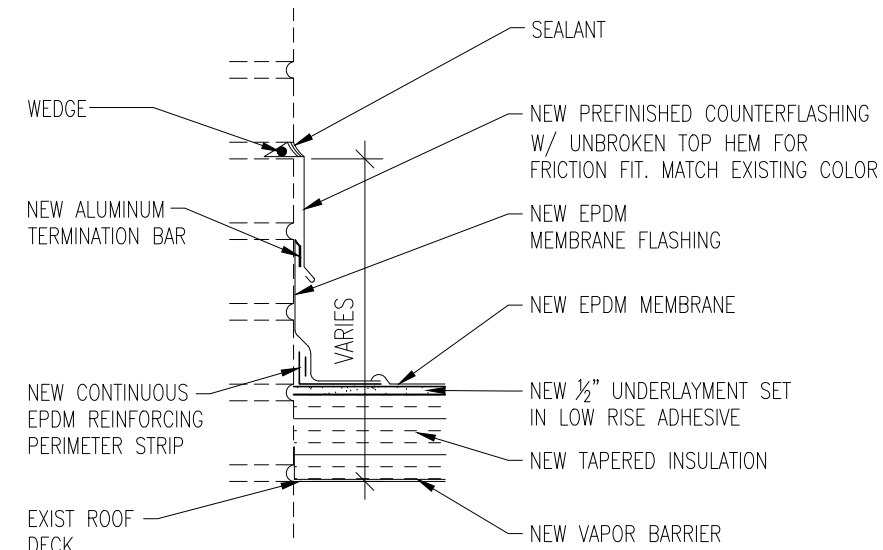
**5 ROOF TO WALL DETAIL**  
A6.1 Scale: 1"= 1'-0"



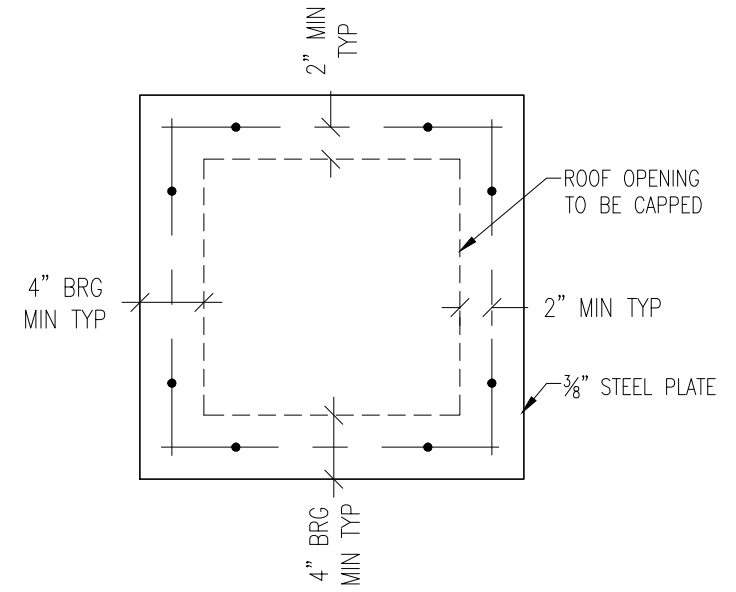
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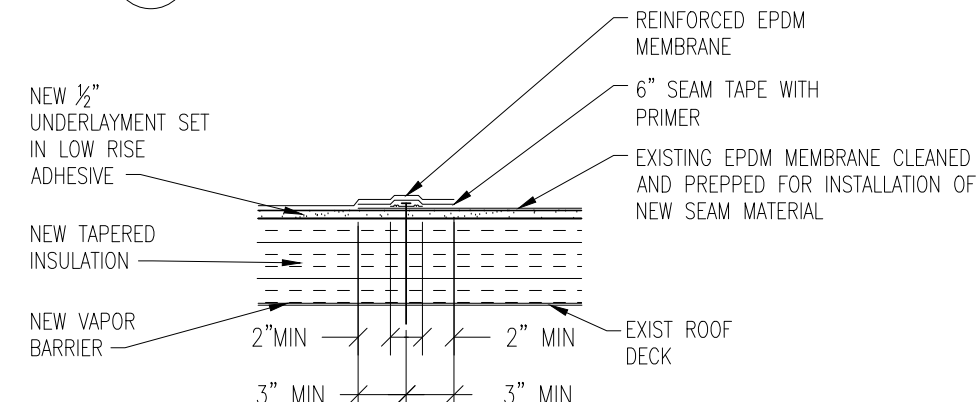
**3 EXISTING ROOF TRANSITION DETAIL**  
A6.1 Scale: 1"=1'-0"



**6 ROOF TO WALL DETAIL**  
A6.1 Scale: 1"=1'-0"



**7 PLATE DETAIL**  
A6.1 Scale: 1"=1'-0"



**8 EPDM SEAM DETAIL**  
A6.1 Scale: 1"= 1'-0"

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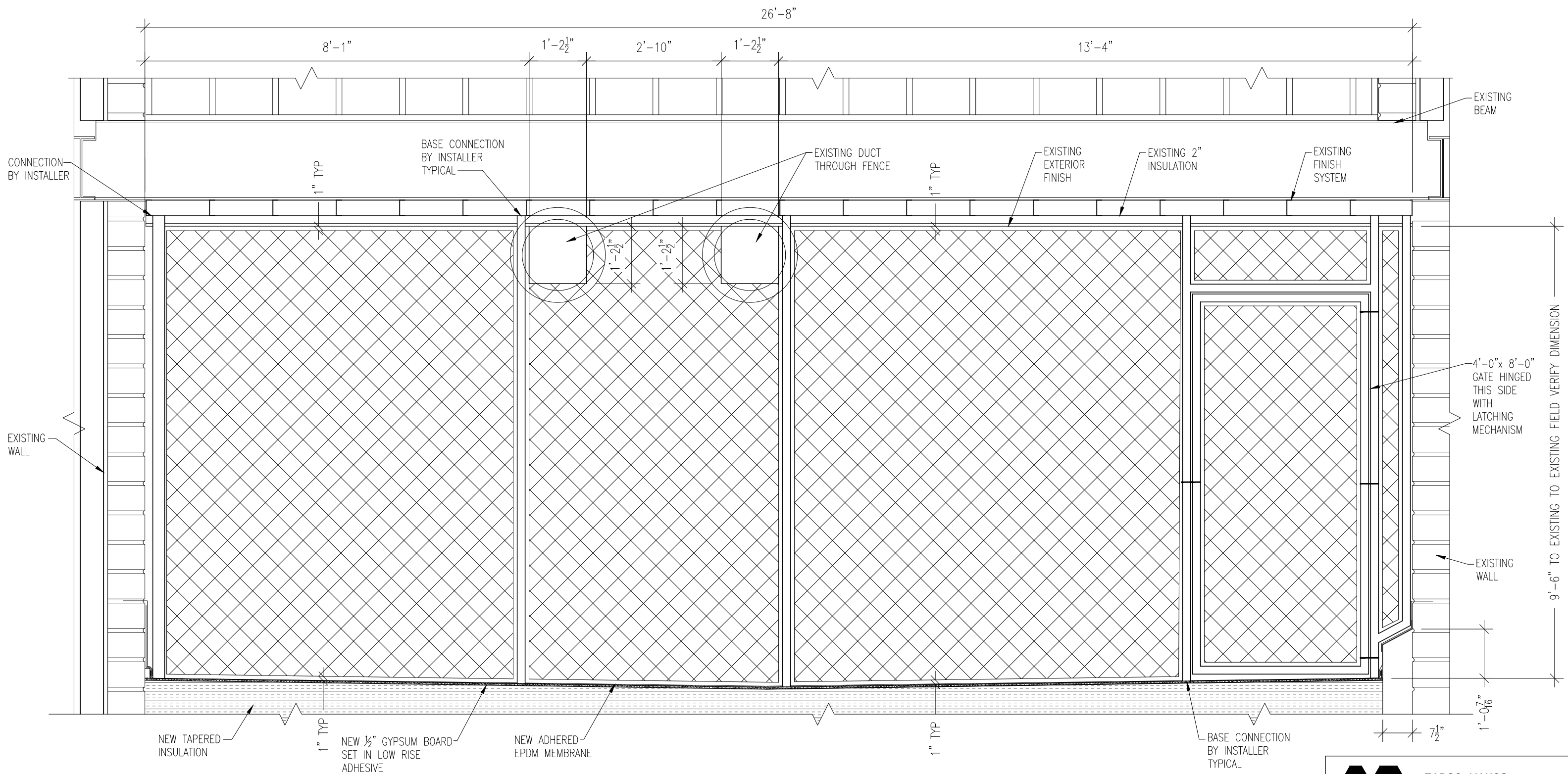
Drawing Title: **ROOFING DETAILS**

Project Title: **Replace Selected Roofs**

Project No. **437-23-125** Date **12/20/2022**

Checked **X** Drawn By **X** Drawing No.

Scale: **No-Scale** **A6.1**  
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**GENERAL NOTES:**

1. ALL DIMENSION TO BE FIELD VERIFIED BEFORE MATERIALS ARE ORDERED
2. FENCE SUPPORT POST LAYOUT BY FENCE SUPPLIER
3. CONNECTION AT TOP AND BOTTOM OF SUPPORT POST BY FENCE INSTALLER
4. FLASHING AS NECESSARY AT ANY PENETRATIONS AND ROOF EDGES TO MAINTAIN WATER PROOFING
5. BOTTOM OF FENCE WILL SLOPE WITH ROOF INSULATION TO MAINTAIN 1" CLEARANCE
6. PRIVACY SLATS TO BE PROVIDED AND INSTALLED IN FENCE WEBBING
7. PROVIDE AND INSTALL CHAIN LINK FENCING WITH TOP AND BOTTOM KNUCKLE SELVAGE. FENCE SHALL BE ZINC COATED STEEL FABRIC: ASTM A392, HOT DIPPED GALVANIZED BEFORE OR AFTER WEAVING. FENCE FRAMEWORK WILL BE ROUND STEEL PIPE AND RAIL: ASTM F1043, GROUP IA HEAVY INDUSTRIAL FENCE FRAMEWORK, ASTM F1083 SCHEDULE 40 GALVANIZED PIPE. GATE WILL BE ASTM F2200 180 DEGREE SWING GALVANIZED STEEL WITH POSITIVE GATE LATCH.

**1 FENCE ELEVATION DETAIL**  
 A6.2 Scale: 1/2"=1'-0"

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Drawing Title: **FENCING DETAIL**

Project Title: **Replace Selected Roofs**

Project No. **437-23-125** Date **12/20/2022**

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Scale **½" = 1'-0"** 17 of 17