U.S. DEPARTMENT OF VETERANS AFFAIRS
ROYAL C. JOHNSON VETERANS MEMORIAL MEDICAL CENTER
UPGRADE PHARMACY 797

BUILDING #5
SIOUX FALLS, SOUTH DAKOTA

VA #438-20-109
02/10/2021 - BID SET

COMMON ABBREVIATIONS

SYMBOLS USED AS ABBREVIATIONS:

Symbol	Meaning
&	AND
L	ANGLE
LL	DOUBLE ANGLE
@	AT
d	PENNEY
#	POUND OR NUMBER
Ø	ROUND OR DIAMETER

ABBREVIATIONS:

Abbreviation	Meaning
A/E	ARCHITECT/ENGINEER
AB	ANCHOR BOLT/ROD
ABV	ABOVE
AC	ASPHALTIC CONCRETE/AIR CONDITIONER
ACC	ACCESSIBLE
ACM	ALUMINUM COMPOSITE MATERIAL
ACOUS	ACOUSTICAL
ACT	ACOUSTICAL CEILING TILE
ADA	AMERICANS WITH DISABILITIES ACT
ADD	ADDENDUM
ADH	ADHESIVE
ADJ	ADJUSTABLE, ADJACENT, ADJOINING
AFF	ABOVE FINISH FLOOR
AFG	ABOVE FINISH GRADE
AHJ	AUTHORITY HAVING JURISDICTION
ALT	ALTERNATE
ALUM	ALUMINUM
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
APC	ACOUSTICAL PANEL CEILING
APPROX	APPROXIMATE
ARCH	ARCHITECT (URAL)
ASI	ARCHITECTURAL SUPPLEMENTAL INFORMATION
BD	BOARD
BEV	BEVELED
BFF	BELOW FINISH FLOOR
BL	BRICK LEDGE
BLDG	BUILDING
BLKG	BLOCK (ING)
BM	BEAM
BOT	BOTTOM
BO	BOTTOM OF
BOC	BOTTOM OF CONCRETE
BOF	BOTTOM OF FOOTING
BRG	BEARING
BRK	BRICK
BSMT	BASEMENT
BTWN	BETWEEN
BUR	BUILT-UP ROOFING
C	CHANNEL/CELSIUS
CAB	CABINET
CB	CERAMIC BASE
CC	CONTRACTOR FURNISHED/CONTRACTOR INSTALLED
CD	CONSTRUCTION DOCUMENTS
CEM	CEMENT
CF	CUBIC FEET OR FOOT
CG	CORNER GUARD
CIPC	CAST-IN-PLACE CONCRETE
CJ	CONTROL/CONSTRUCTION JOINT
CL	CENTER LINE
CLG	CEILING
CLKG	CAULKING
CLR	CLEAR, CLEARANCE
CMU	CONCRETE MASONRY UNIT
CO	CHANGE ORDER/CLEAN OUT
COL	COLUMN
COMB	COMBINATION
COMP	COMPOSITE/COMPOSITION
CONC	CONCRETE
CONN	CONNECT (ION)
CONST	CONSTRUCTION
CONT	CONTINUOUS, CONTINUE
CONTR	CONTRACT (OR)
COORD	COORDINATE
CORR	CORRUGATED/CORRIDOR
CPT	CARPET
CPPT	CARPET TILE
CSMT	CASEMENT
CT	CERAMIC TILE
CTB	CARPET TILE BASE
CTR	CENTER
D	DEPTH
DBL	DOUBLE
DEMO	DEMOLITION, DEMOLISH
DEPT	DEPARTMENT
DET	DETAIL
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIAG	DIAGONAL
DIM	DIMENSION
DIV	DIVIDE, DIVISION
DISP	DISPENSER
DN	DOWN
DR	DOOR
DS	DOWNSPOUT
DW	DISHWASHER
DWG	DRAWING (S)
DWR	DRAWER
DWTR	DUMBWAITER
(E)	EXISTING
E	EAST
EA	EACH
EF	EACH FACE
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATOR
ENL	ENLARGED
EMER	EMERGENCY
ENGR	ENGINEER
EOP	EDGE OF PAVEMENT
EPDM	ETHYLENE PROPYLENE DIENE MONOMER
EPS	EXPANDED POLYSTYRENE BOARD
EPT	EPOXY PAINT
EQ	EQUAL
EQUIP	EQUIPMENT
ES	EACH SIDE
EST	ESTIMATE
ETC	ETCETERA
ETR	EXISTING TO REMAIN
EW	EACH WAY
EXIST	EXISTING
EXC	EXCAVATE/EXCAVATION
EXH	EXHAUST
EXP	EXPANSION/EXPOSED
EXT	EXTERIOR
EWC	ELECTRIC WATER COOLER
FA	FIRE ALARM
FAB	FABRICATE/FABRICATION
FD	FLOOR DRAIN
FDC	FIRE DEPARTMENT CONNECTION
FDTN	FOUNDATION
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FF	FINISHED FLOOR
FFE	FINISH FLOOR ELEVATION
FIN	FINISH (ED)
FLOUR	FLUORESCENT
FLR	FLOOR (ING)
FO	FACE OF
FOC	FACE OF CONCRETE
FOM	FACE OF MASONRY
FOS	FACE OF STUD
FOF	FACE OF FINISH
FR	FIRE RESISTANT/FRAME
FRP	FIBERGLASS REINFORCED PANEL
FS	FLOOR SINK
FT	FOOT, FEET/FIRE TREATED
FTG	FOOTING
FURG	FURRING
FUT	FUTURE
GA	GAGE, GAUGE
GB	GRAB BAR
GC	GENERAL CONTRACTOR
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GI	GALVANIZED IRON
GL	GLASS
GLU LAM	GLUE LAMINATED (BEAM)
GWB	GYPSUM WALL BOARD
GYP	GYPSUM
HB	HOSE BIB
HC	HANDICAP / HOLLOW CORE
HD	HEAVY DUTY
HDBD	HARDBOARD
HDR	HEADER
HDWD	HARDWOOD
HDWR	HARDWARE
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HR	HOUR
HT	HEIGHT
HVAC	HEATING, VENTILATION, AIR-CONDITIONING
IBC	INTERNATIONAL BUILDING CODE
ICC	INTERNATIONAL CODE COUNCIL
ID	INSIDE DIAMETER/DIMENSION
IFC	INTERNATIONAL FIRE CODE
IN	INCH(ES)
INCL	INCLUDE (D), INCLUDING
INFO	INFORMATION
INSP	INSPECTION
INSTR	INSTRUCTION(S)
INSUL	INSULATE (D), INSULATION
INT	INTERIOR
JAN	JANITOR
JST	JOIST
JT	JOINT
KCJ	KEYED CONSTRUCTION JOINT
KO	KNOCK OUT
L	LENGTH / ANGLE
LAB	LABORATORY
LAM	LAMINATE (ED)
LAV	LAVATORY
LB	POUND
LF	LINEAR FEET
LH	LEFT HAND
LKR	LOCKER
LOC	LOCATION
LONG	LONGITUDINAL
LT	LIGHT
LVR	LOUVER
LVT	LUXURY VINYL TILE
MAS	MASONRY
MATL	MATERIAL
MAX	MAXIMUM
MC	MEDICINE CABINET
MECH	MECHANICAL
MEMB	MEMBRANE
MEZZ	MEZZANINE
MFR	MANUFACTURE (R)
MIN	MINIMUM
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MR	MIRROR
MTL	METAL
(N)	NEW
N	NORTH
NA	NOT APPLICABLE
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OFOI	OWNER FURNISHED/OWNER INSTALLED
OFCI	OWNER FURNISHED/ CONTRACTOR INSTALLED
OH	OVERHEAD
OPP	OPPOSITE
OPG	OPENING
ORIG	ORIGINAL
ORD	OVERFLOW ROOF DRAIN
OZ	OUNCE
PAR	PARALLEL
PCF	POUNDS PER CUBIC FOOT
PED	PEDESTAL
PERF	PERFORATED
PERP	PERPENDICULAR
PL	PLATE
PLAM	PLASTIC LAMINATE
PLMB	PLUMBING
PLYWD	PLYWOOD
PNL	PANEL
PR	PAIR/PROPOSAL REQUEST
PRCST	PRECAST CONCRETE
PREFAB	PREFABRICATE
PSI	POUNDS PER SQUARE INCH
PSF	POUNDS PER SQUARE FOOT
PT	PAINT / PRESSURE TREATED
PTD	PAPER TOWEL DISPENSER
PTN	PARTITION
PTR	PAPER TOWEL RECEPTACLE
PVC	POLYVINYL CHLORIDE
QT	QUARRY TILE
R	RADIUS/RISER
RB	RUBBER BASE
RBR	RUBBER
RCP	REFLECTED CEILING PLAN
RD	ROOF DRAIN
REBAR	REINFORCING BAR
REC	RECESSED
REF	REFERENCE/REFRIGERATOR
REINF	REINFORCE (D), (ING), (MENT)
REQ	REQUIRE
REQD	REQUIRED
RES	RESILIENT FLOORING
RET	RETURN
REV	REVISION (S), REVISED
RFI	REQUEST FOR INFORMATION
RFP	REQUEST FOR PROPOSAL
RH	RIGHT HAND
RL	RIDGE LINE
RM	ROOM
RO	ROUGH OPENING
ROW	RIGHT OF WAY
RVS	REVERSE (SIDE)
RWL	RAIN WATER LEADER
S	SOUTH
SB	SPLASH BLOCK
SC	SOLID CORE
SCHED	SCHEDULE
SCR	SHOWER CURTAIN ROD
SCT	SECTION
SD	SOAP DISPENSER
SF	SQUARE FOOT
SHT	SHEET
SHTHG	SHEATHING
SIM	SIMILAR
SLDG	SLIDING
SLNT	SEALANT
SND	SANITARY NAPKIN DISPENSER
SNX	SANITARY NAPKIN DISPOSAL
SOG	SLAB ON GRADE
SPEC	SPECIFICATION (S)
SQ	SQUARE
SSM	SOLID SURFACE MATERIAL
SST	STAINLESS STEEL
ST	STREET
STC	SOUND TRANSMISSION CLASS
STD	STANDARD
STL	STEEL
STOR	STORAGE
STRUCT	STRUCTURAL
SUSP	SUSPENDED
SV	SHEET VINYL
SW	SHEARWALL
SYM	SYMMETRICAL
T	TREAD
T&B	TOP AND BOTTOM
T&G	TONGUE AND GROOVE
TB	TOWEL BAR
TBD	TO BE DETERMINED
TEMP	TEMPORARY/TEMPERED
TER	TERRAZZO
TFE	TOP FOOTING ELEVATION
THD	THREAD (ED) (S)
THK	THICKNESS
THRU	THROUGH
TKBD	TACKBOARD
TL	TILE
TO	TOP OF
TOB	TOP OF BEAM
TOC	TOP OF CONCRETE/CURB
TOD	TOP OF DECK
TOF	TOP OF FOOTING (FOUNDATION)
TOM	TOP OF MASONRY
TOP	TOP OF PIER
TOJ	TOP OF JOIST
TOS	TOP OF SLAB/STEEL
TOW	TOP OF WALL
TPD	TOILET PAPER DISPENSER
TPO	THERMOPLASTIC POLYOLEFIN
TPTN	TOILET PARTITION
TRANS	TRANSVERSE
TS	TUBE STEEL
TYP	TYPICAL
UG	UNDERGROUND
UH	UNIT HEATER
UNFIN	UNFINISHED
UNO	UNLESS NOTED OTHERWISE
UON	UNLESS OTHERWISE NOTED
UTIL	UTILITY
V	SHEAR
VAR	VARIES
VB	VAPOR BARRIER
VC	VA FURNISHED / CONTRACTOR INSTALLED
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL
VEST	VESTIBULE
VIF	VERIFY IN FIELD
VR	VAPOR RETARDER
VV	VA FURNISHED / VA INSTALLED
VWC	VINYL WALL COVERING
W	WEST/WIDTH
W/	WITH
W/O	WITHOUT
WA	WEDGE ANCHOR
WB	WOOD BASE
WC	WATER CLOSET
WD	WOOD/WOODWORK
WDW	WINDOW
WF (W)	WIDE FLANGE
WG	WALL GUARD
WH	WATER HEATER
WI	WROUGHT IRON
WL	WIND LOAD
WP	WATERPROOF (ING)
WR	WATER RESISTANT
WSCT	WAINSCOT
WT	WEIGHT/WINDOW TREATMENT
WWF	WELDED WIRE FABRIC

MEDICAL ABBREVIATIONS

Abbreviation	Meaning
ACPH	AIR CHANGES PER HOUR
BSC	BIOLOGICAL SAFETY CABINET
CACI	COMPUNDING ASEPTIC CONTAINER ISOLATOR
C-PEC	CONTAINMENT PRIMARY ENGINEERING CONTROL
C-SEC	CONTAINMENT SECONDARY ENGINEERING CONTROL
EPA	ENVIRONMENTAL PROTECTION AGENCY
HD	HAZARDOUS DRUG
HEPA	HIGH-EFFICIENCY PARTICULATE AIR
IV	INTRAVENEOUS
LAFW	LAMINAR AIRFLOW WORKBENCH
OSHA	OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
PPE	PERSONAL PROTECTIVE EQUIPMENT
SOP	STANDARD OPERATING PROCEDURE
UPS	UNINTERUPTED POWER SOURCE

SYMBOLS LEGEND

- BATT INSULATION
- GYPSUM BOARD
- EARTH
- CONCRETE
- RIGID INSULATION
- EXISTING CONSTRUCTION TO BE REMOVED
- NEW CONSTRUCTION
- WOOD ROUGH (CONTINUOUS)
- WOOD ROUGH (SPACED)
- PLYWOOD
- BLOCK WALL/VENEER
- DIMENSION LINE
- BREAK LINE
- DETAIL INDICATOR (X / X-XX)
- DETAIL INDICATOR (X / X-XX)
- BUILDING SECTION INDICATOR (X / X-XX)
- ELEVATION INDICATOR, EXTERIOR (X / X-XX)
- ELEVATION INDICATOR
- CENTER LINE
- ELEVATION INDICATOR, INTERIOR, SINGLE VIEW (X / X-XX)
- ELEVATION INDICATOR, INTERIOR MULTIPLE VIEW (X / X-XX)
- V V ITEM - VA SUPPLIED & INSTALLED
- VC ITEM - VA SUPPLIED & CONTRACTOR INSTALLED
- CC ITEM - CONTRACTOR SUPPLIED & INSTALLED
- NORTH ARROW (NORTH)
- CENTER LINE INDICATOR
- CONTRACT LIMIT LINE
- DEMOLITION LINE
- EXISTING TO REMAIN
- FEATURE ABOVE LINE INDICATOR
- FIRE RESISTIVE RATED LINE, 1 HOUR
- FIRE RESISTIVE RATED LINE, 2 HOUR
- FIRE RATED, FIRE/SMOKE BARRIER LINE, 1 HOUR
- FIRE RATED, FIRE/SMOKE BARRIER LINE, 2 HOUR
- FIRE RATED, SMOKE BARRIER LINE, 1 HOUR
- FIRE RATED, SMOKE BARRIER LINE, 2 HOUR
- HIDDEN LINE FEATURES
- NEW LINE
- PROPERTY LINE

AA / a: STUD SIZE; PARTITION MODIFIER (OPTIONAL); OR FIRE RATING (OPTIONAL)

STUD SIZE OR CMU NOMINAL THICKNESS
A = 3 5/8" MTL STUD, (1) LAYER GYP BD BOTH SIDES
B = 6" MTL STUD, (1) LAYER GYP BD BOTH SIDES
C = 2 1/2" MTL STUD, (1) LAYE GYP BD BOTH SIDES
F = FURRING

PARTITION MODIFIERS
A = ONE SIDED G.W.B.
B = 42" HIGH WALL
C = 48" HIGH WALL

OTHER POSSIBLE MODIFIERS
- SMOKE BARRIER
- SOUND RATINGS

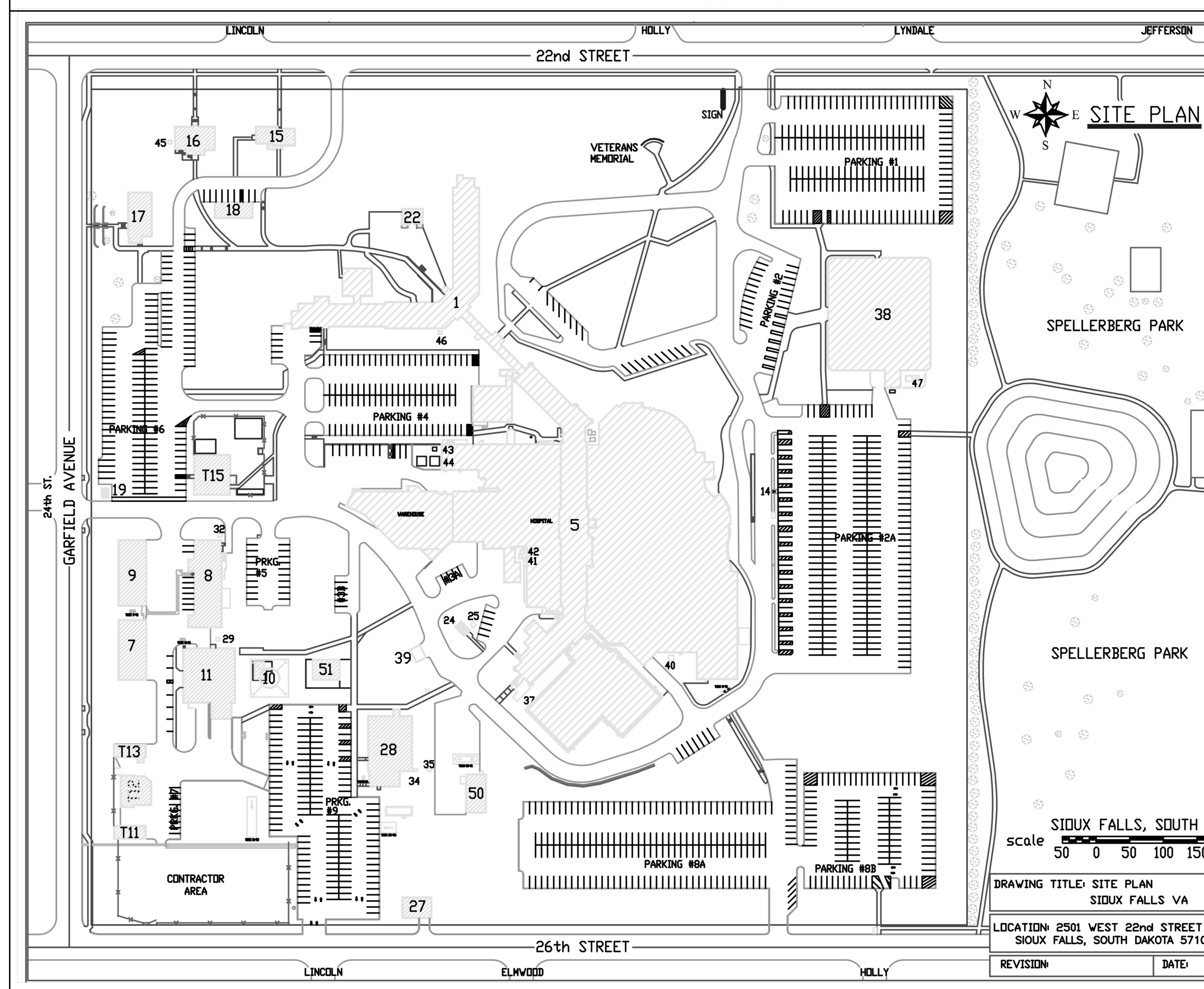
RATINGS
1 = 1 HOUR
2 = 2 HOUR
3 = 3 HOUR
4 = 4 HOUR

- (XX) DRAWING TITLE / XX=XX — DRAWING BLOCK TITLE, TYPICAL
- XX / X-XX — DETAIL INDICATOR FOR SMALL CONDITIONS
- CG — CORNER GUARD
- FEC — FIRE EXTINGUISHER CABINET
- XX — WALL OR PARTION TYPE
- XX — KEYNOTE
- 1 / A — COLUMN GRID
- ROOM XX — ROOM NAME AND NUMBER
- XX — FURNITURE, FIXTURE, & EQUIPMENT INDICATOR
- XX — DOOR OPENING/BORROWED LIGHT IDENTIFIER

SHEET INDEX

TOTAL SHEET COUNT: 38

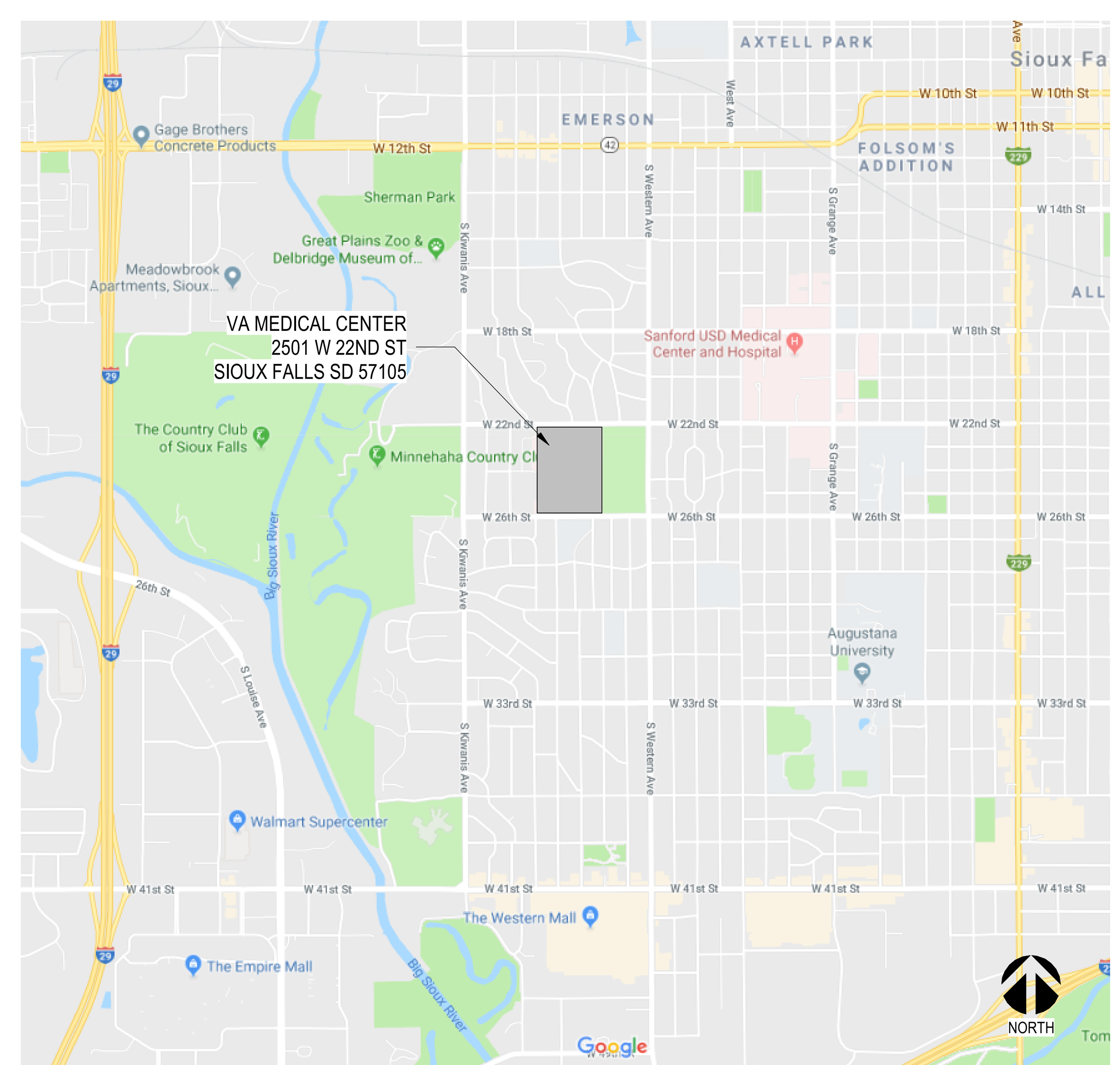
LOCATION MAP

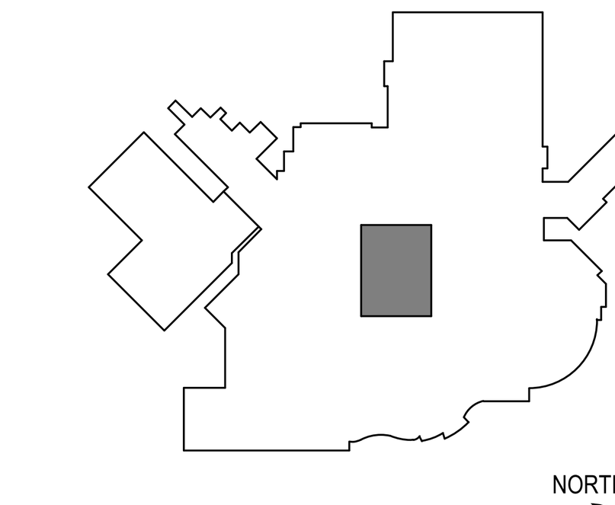


BUILDING SCHEDULE

NO.	BUILDINGS
1	HR/MH BUILDING
5	MAIN HOSPITAL
7	UTILITY SHOPS
8	LAUNDRY
9	STATION GARAGE
10	WATER TANK
11	BOILER PLANT
14	FLAGPOLE
15	UNION BUILDING
16	HBPC/LEGAL BUILDING
17	ENGINEERING BUILDING
18	GARAGE
19	GAS METER HOUSE
22	RECREATION SHELTER
24	AUXILIARY POWER UNIT
25	PAD MOUNT TRANSFORMER
27	ELECTRICAL SWITCHGEAR
28	RESEARCH BUILDING
29	PAD MOUNT TRANSFORMER
32	PAD MOUNT TRANSFORMER
34	PAD MOUNT TRANSFORMER
35	POWER J-BOX #1
37	A/C PAD - I.C.U.
38	REGIONAL OFFICE BUILDING
39	OXYGEN STORAGE PAD
40	PAD MOUNT TRANSFORMER
41	PAD MOUNT TRANSFORMER
42,43	PAD MOUNT TRANSFORMER
44	COOLING TOWER PAD
45-47	PAD MOUNT TRANSFORMER
50	GENERATOR BUILDING
51	EMERGENCY MANAGEMENT BUILDING
T11	STORAGE BUILDING
T12	STORAGE BUILDING
T13	STORAGE BUILDING
T15	CHILD DAYCARE

VICINITY MAP





KEYPLAN
NTS

Revision#	Description	Date:

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STAMP

Office of Construction and Facilities Management

VA U.S. Department of Veterans Affairs

Drawing Title	COVER SHEET
Approved:	
Phase	BID SET
Project Title	UPGRADE PHARMACY 797
Location	SIOUX FALLS, SOUTH DAKOTA
Issue Date	02/10/2021
Checked	TRS
Drawn	DAN
Project Number	VA #438-20-109 SGA #201927
Building Number	5
Drawing Number	G000

COMMUNICATION ELEMENTS AND FEATURES

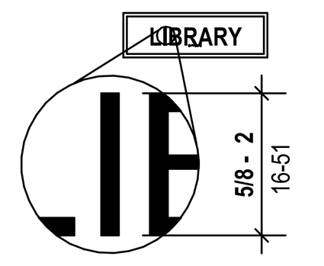


Figure 703.2.5
Height of Raised Characters

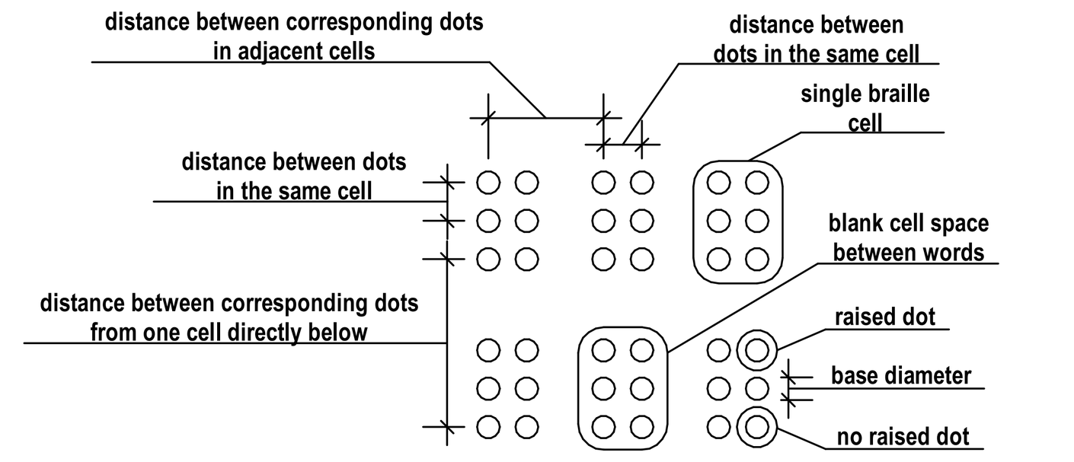


Figure 703.3.1
Braille Measurement

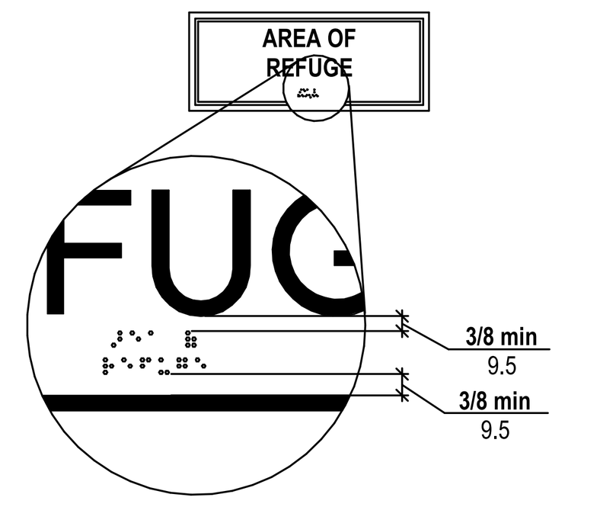


Figure 703.3.2
Position of Braille

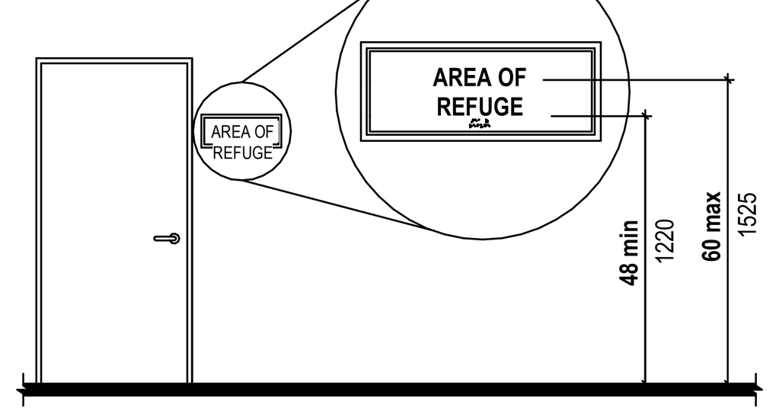


Figure 703.4.1
Height of Tactile Characters Above Floor or Ground

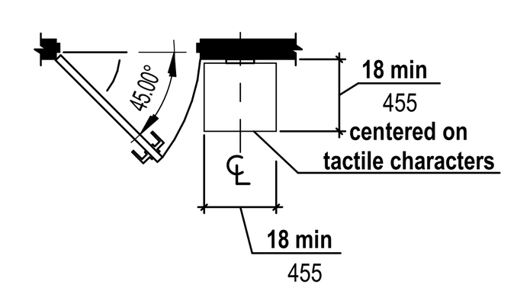


Figure 703.4.2
Location of Tactile Signs at Doors

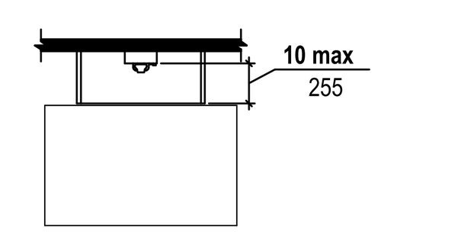


Figure 704.2.1.1
Parallel Approach to Telephone

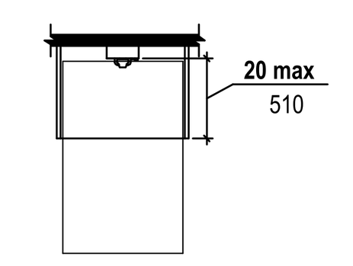


Figure 704.2.1.2
Forward Approach to Telephone

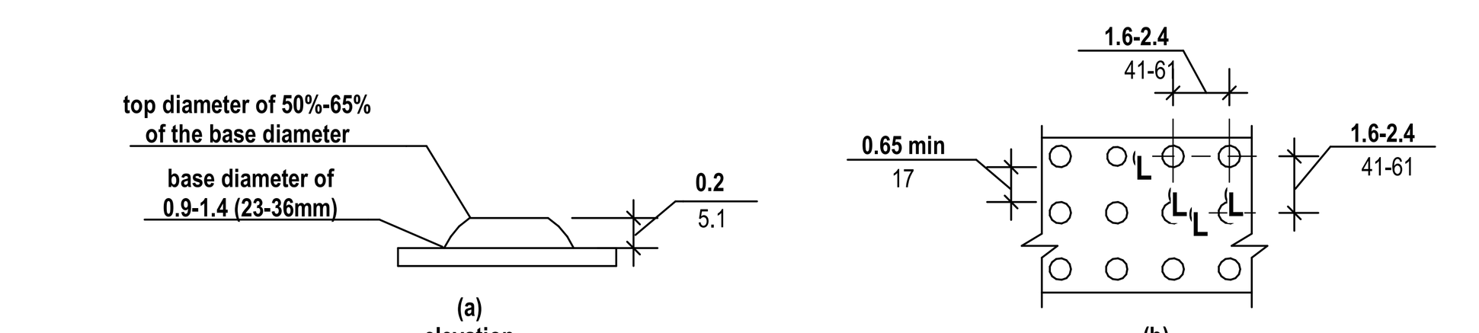


Figure 705.1
Size and Spacing of Truncated Domes

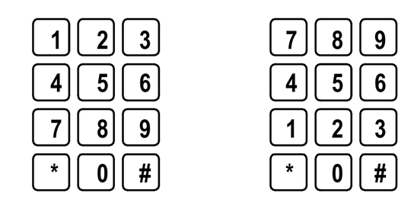


Figure 707.6.2
Numeric Key Layout


Figure 703.7.2.3
Volume-Controlled Telephone

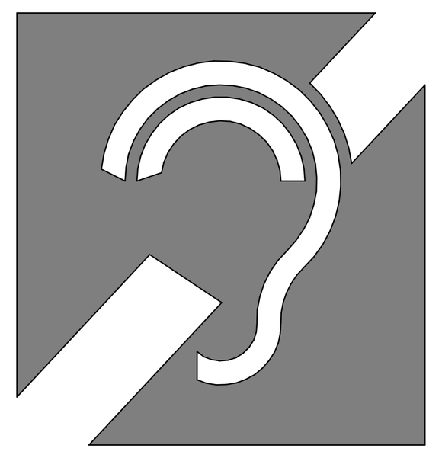


Figure 703.7.2.4
International Symbol of Access for Hearing Loss

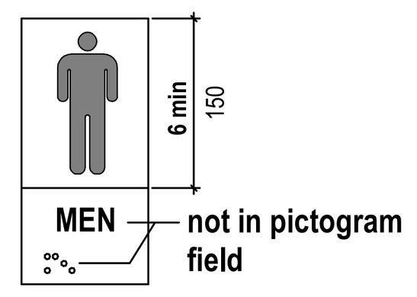


Figure 703.6.1
Pictogram Field

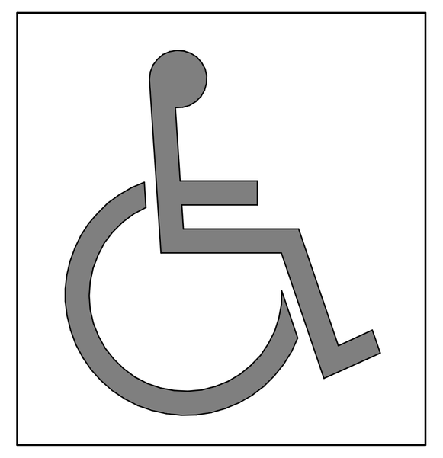


Figure 703.7.2.1
International Symbol of Accessibility

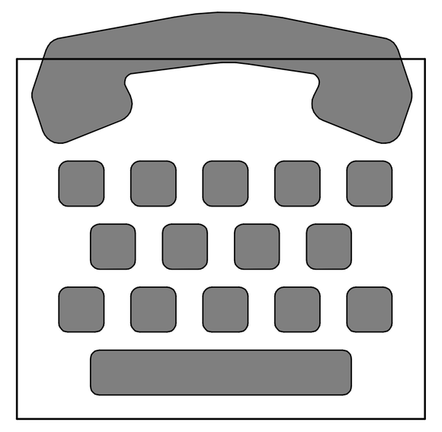


Figure 703.7.2.2
International TTY Symbol

BUILDING BLOCKS

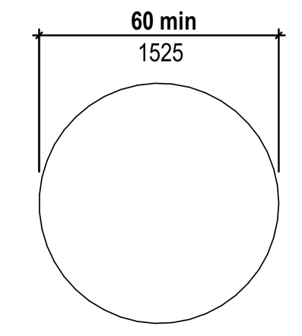


Figure 304.3.1
Circular Turning Space

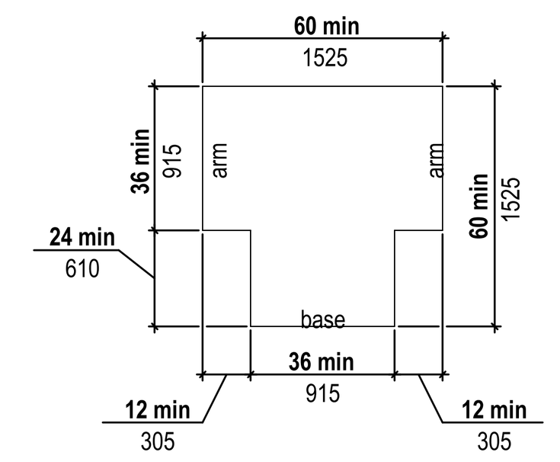


Figure 304.3.2
T-Shaped Turning Space

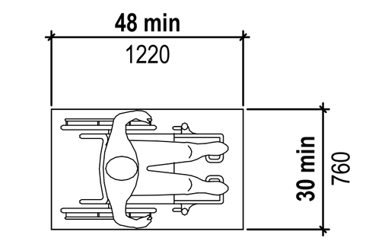


Figure 305.3
Clear Floor or Ground Space

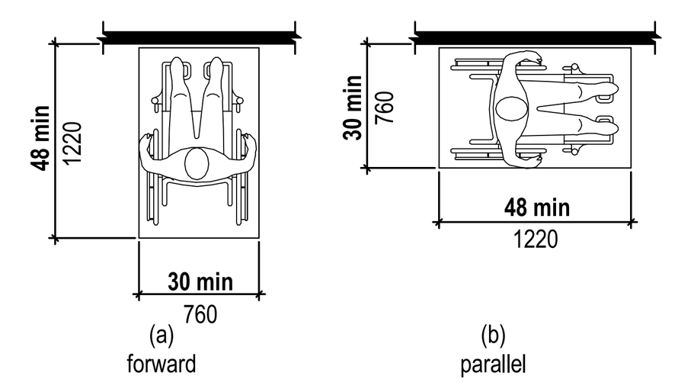


Figure 305.5
Position of Clear Floor or Ground Space

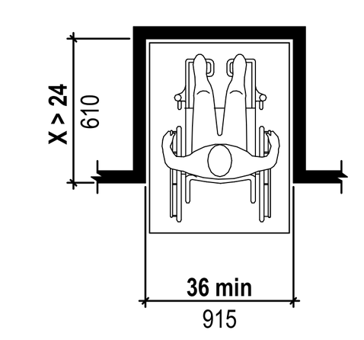


Figure 305.7.1
Maneuvering Clearance in an Alcove, Forward Approach

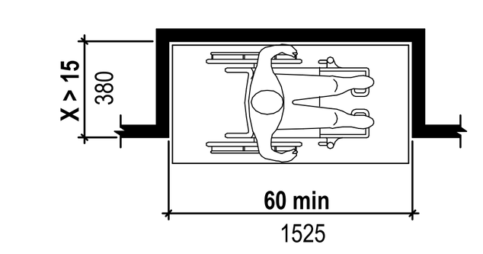


Figure 305.7.2
Maneuvering Clearance in an Alcove, Parallel Approach

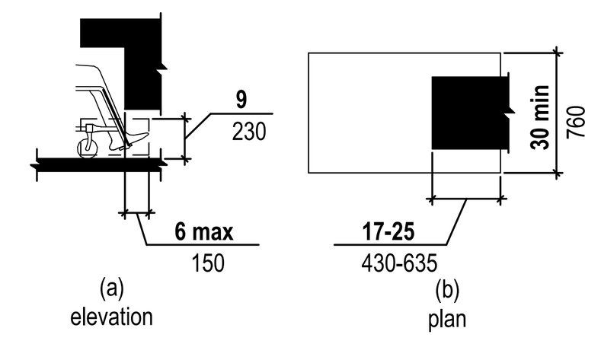


Figure 306.2
Toe Clearance

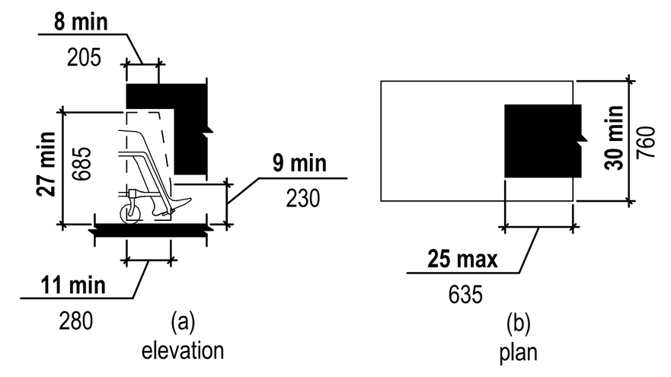


Figure 306.3
Knee Clearance

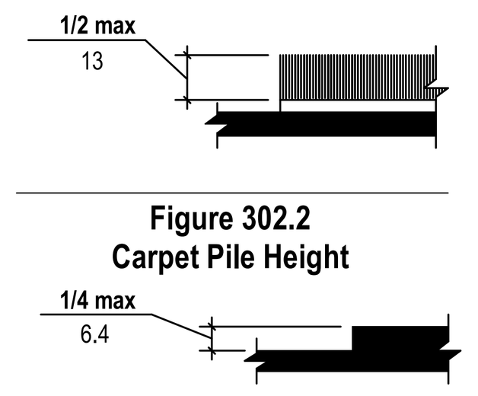


Figure 302.2
Carpet Pile Height

Figure 303.2
Vertical Change in Level

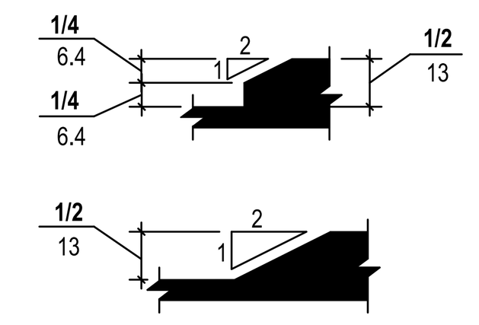


Figure 303.3
Beveled Change in Level

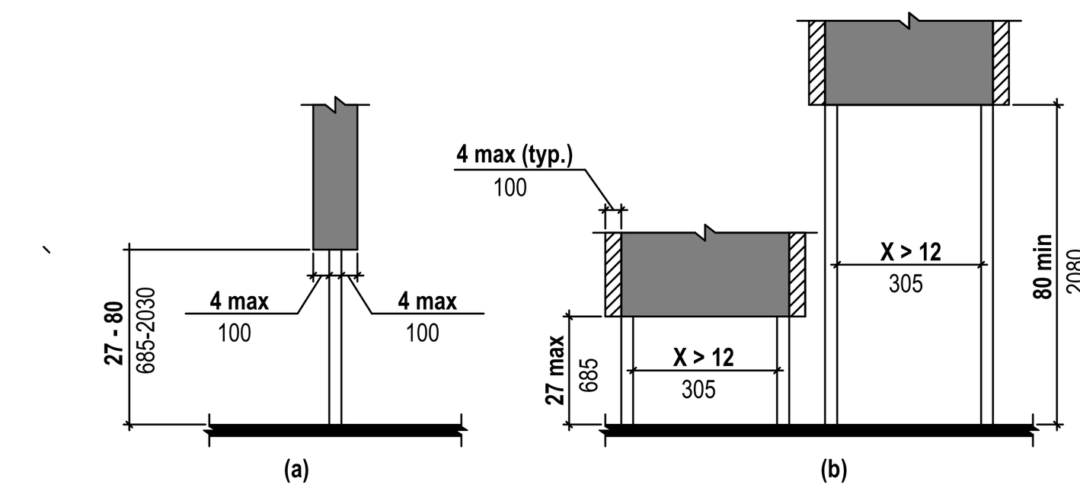


Figure 307.3
Post-Mounted Protruding Objects

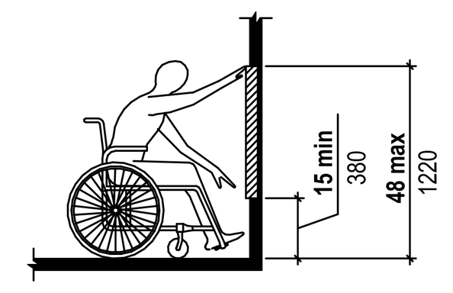


Figure 308.2.1
Unobstructed Forward Reach

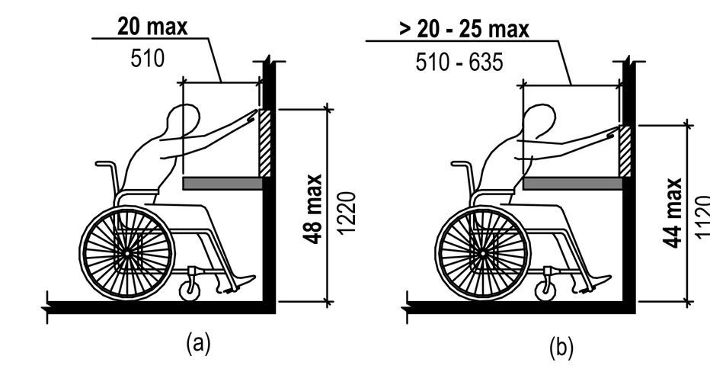


Figure 308.2.2
Obstructed High Forward Reach

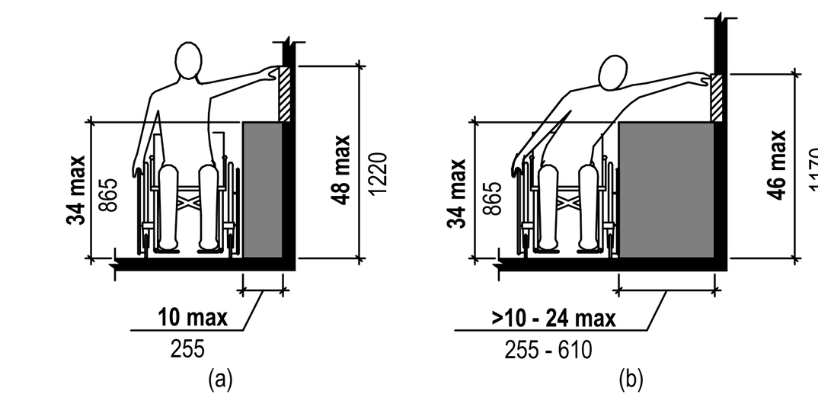


Figure 308.3.2
Unobstructed High Side Reach

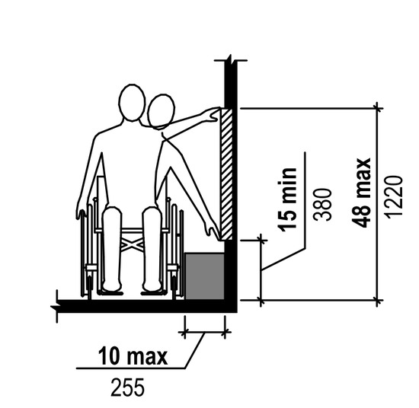


Figure 308.3.1
Unobstructed Side Reach

ACCESSIBLE ROUTES

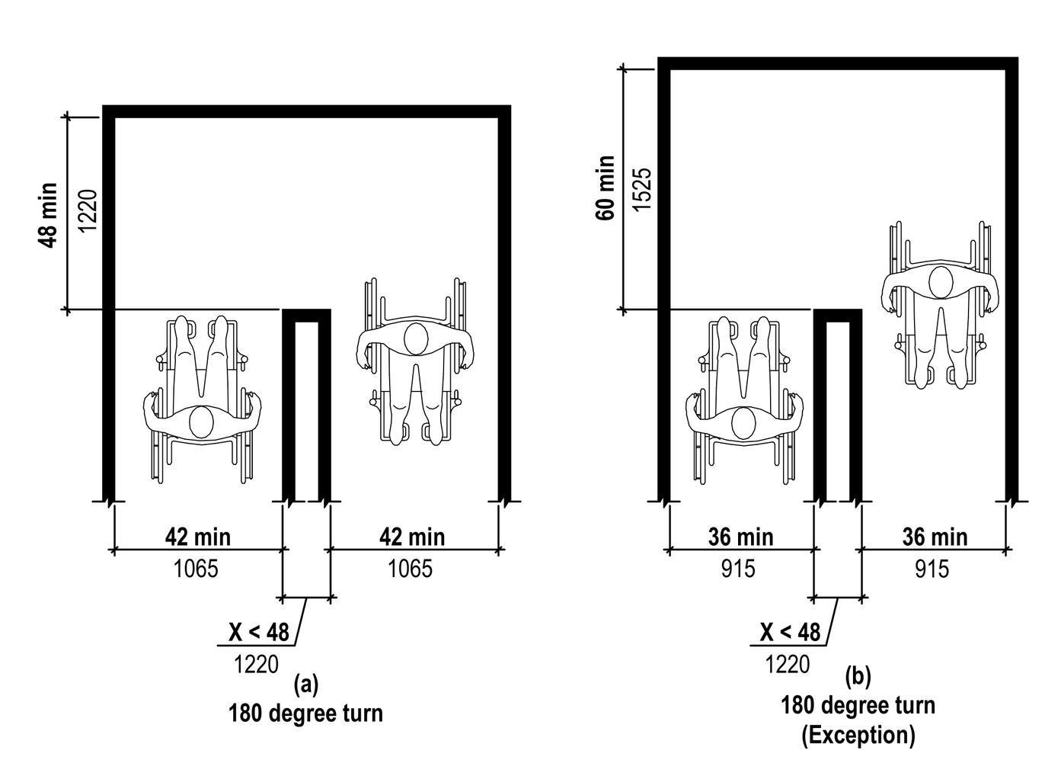


Figure 403.5.2
Clear Width at Turn

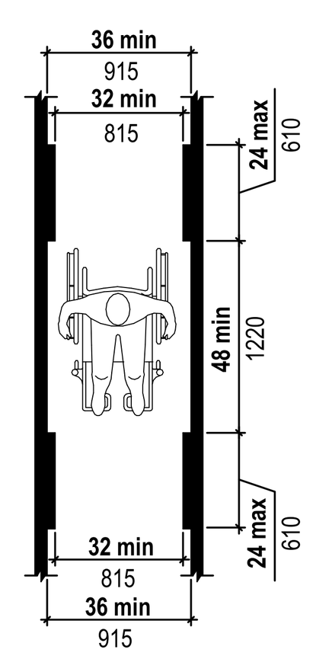


Figure 403.5.1
Clear Width of an Accessible Route

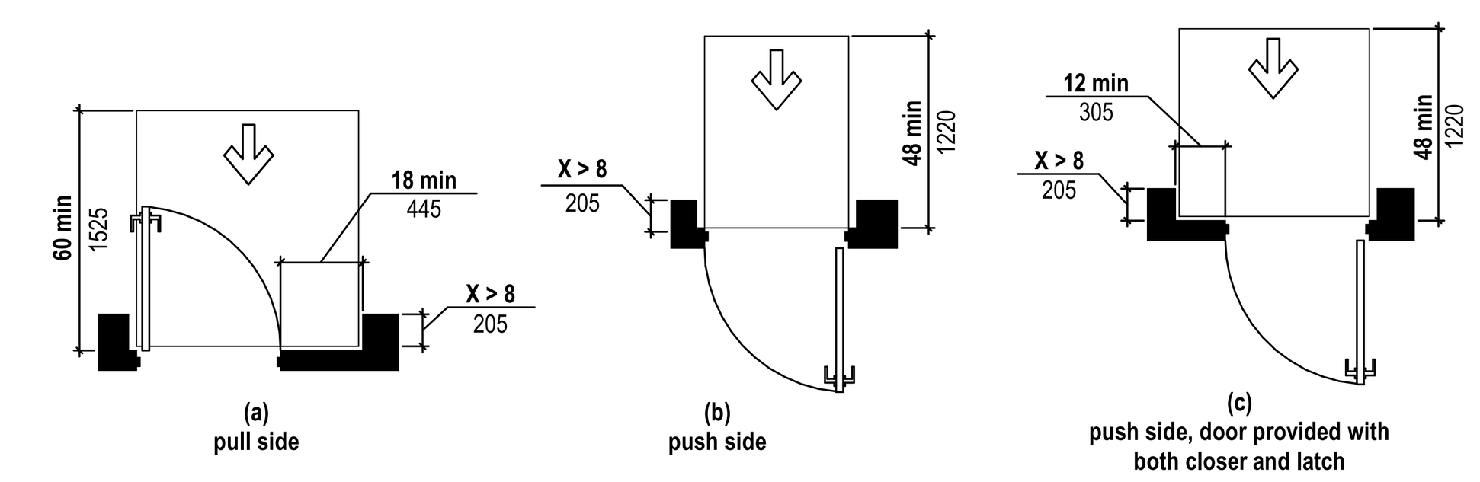


Figure 404.2.4.3
Maneuvering Clearance at Recessed Doors and Gates

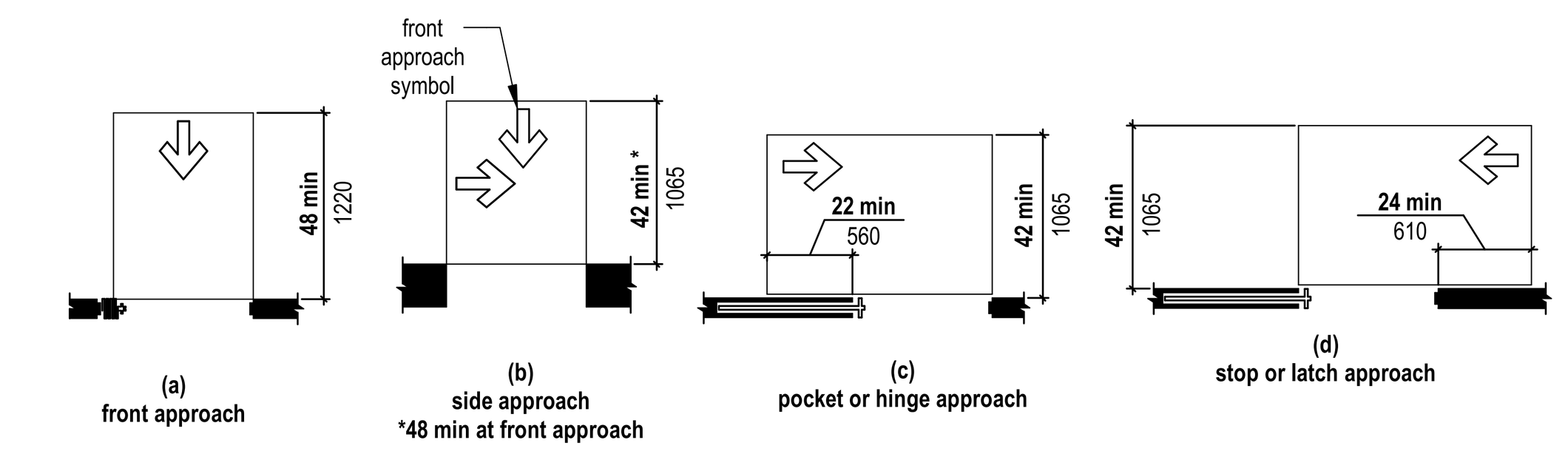


Figure 404.2.4.2
Maneuvering Clearance at Sliding and Folding Doors

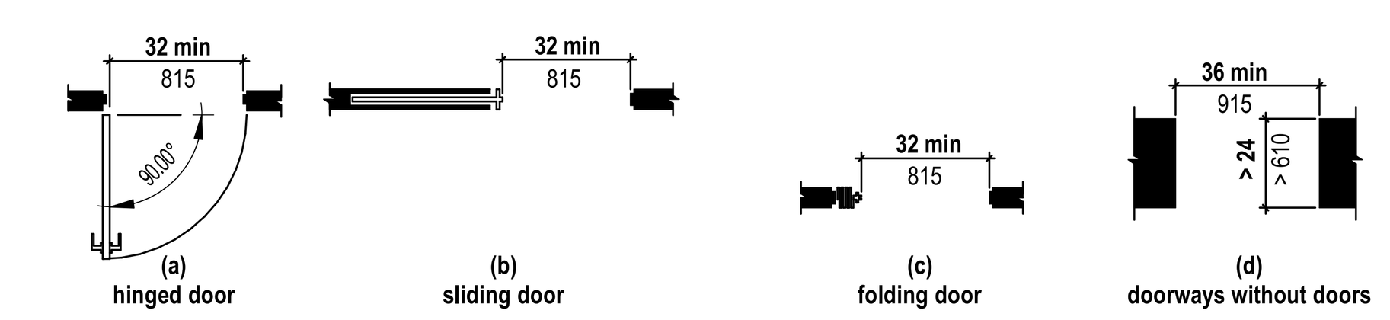


Figure 404.2.3
Clear Width of Doorways

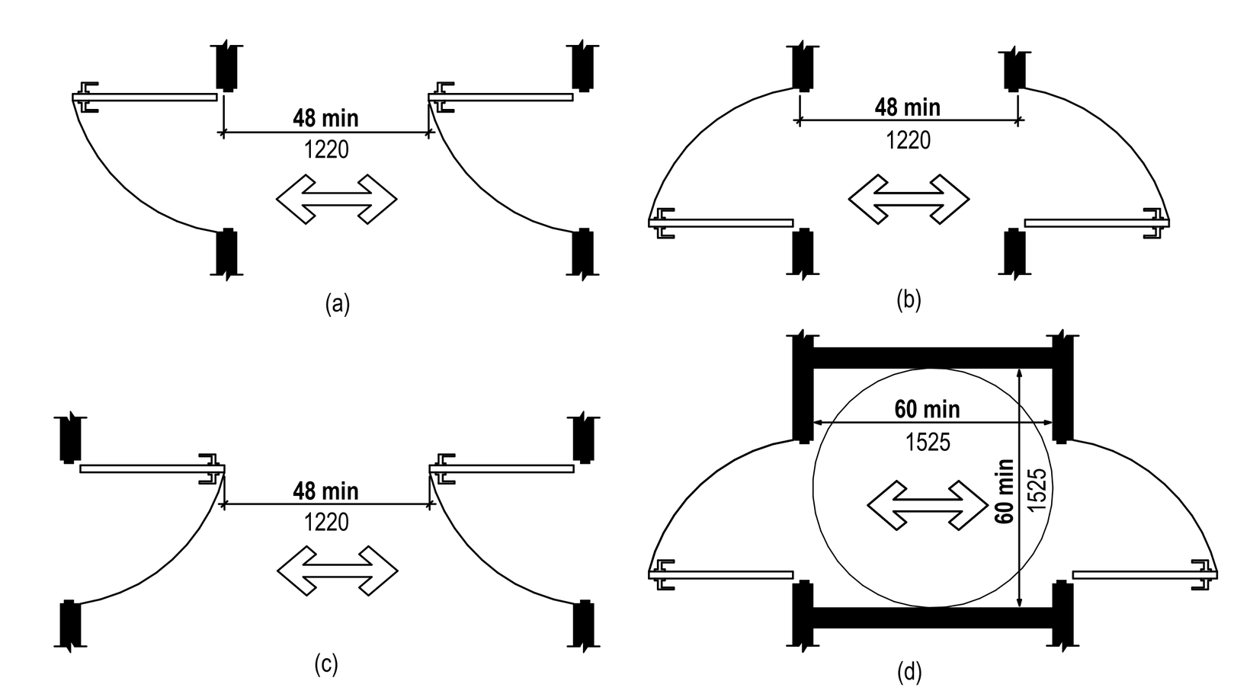


Figure 404.2.6
Doors in Series and Gates in Series

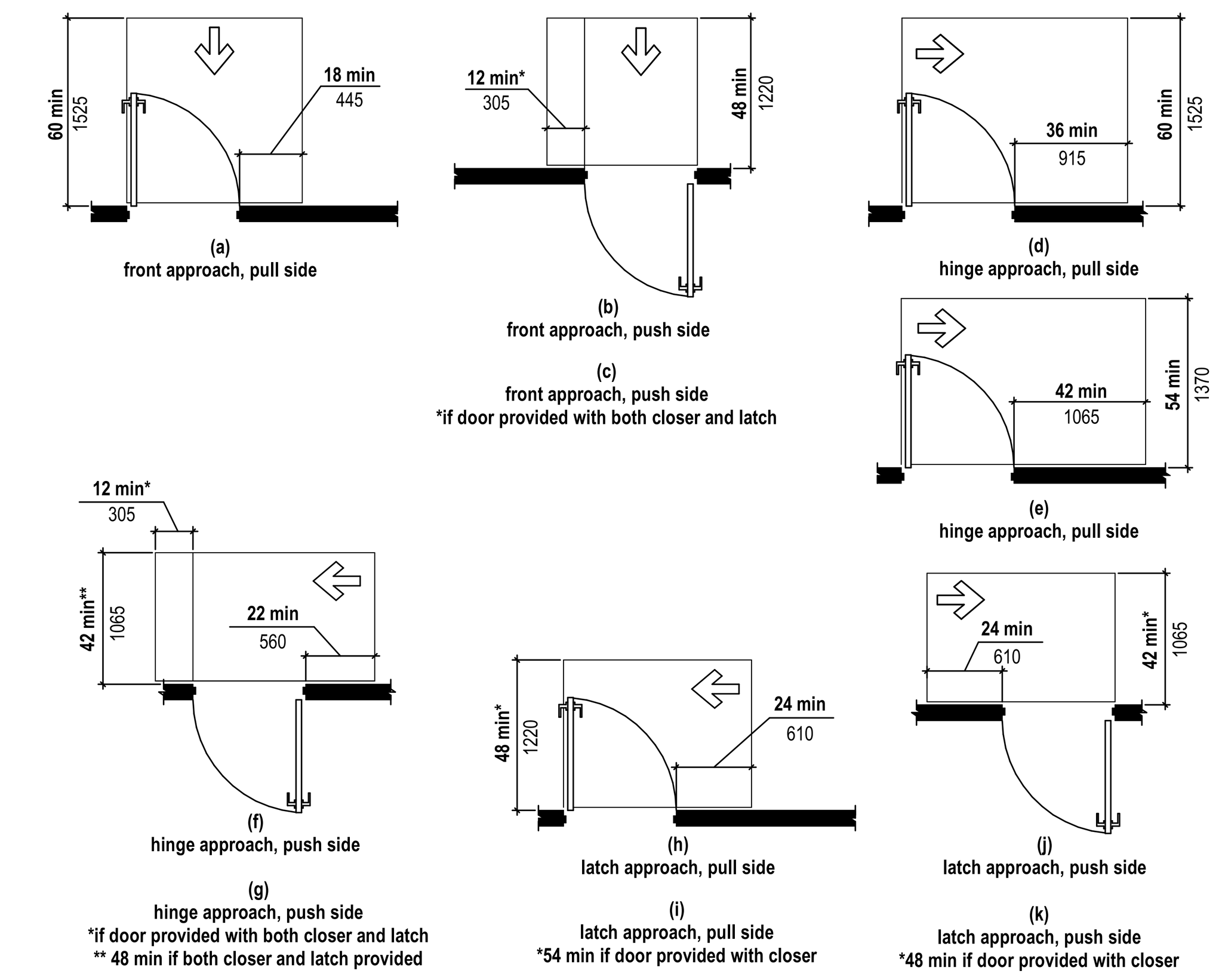
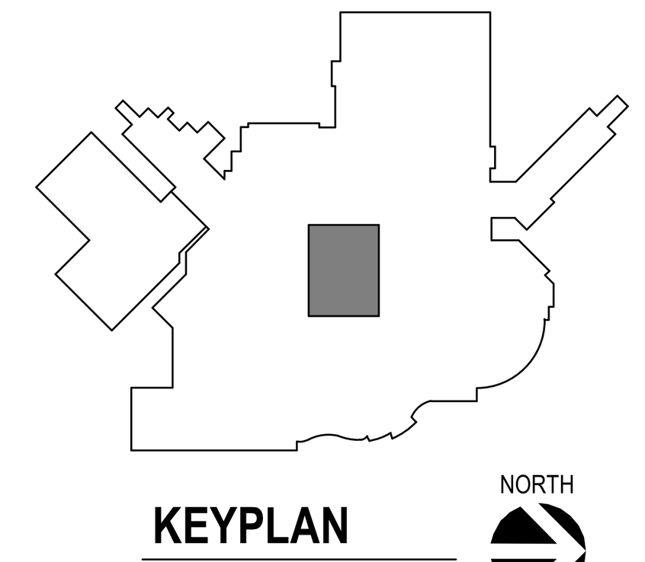


Figure 404.2.4.1
Maneuvering Clearance at Manual Swinging Doors and Gates


KEYPLAN
NTS
NORTH

Revision#	Description	Date:

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STONE GROUP ARCHITECTS

STAMP

Office of Construction and Facilities Management

VA U.S. Department of Veterans Affairs

Drawing Title	ACCESSIBILITY DETAILS
Phase	BID SET
Project Title	UPGRADE PHARMACY 797
Project Number	VA #438-20-109 SGA #201927
Building Number	5
Approved:	
Location	SIOUX FALLS, SOUTH DAKOTA
Issue Date	02/10/2021
Checked	TRS
Drawn	DAN
Drawing Number	G001

VA FORM 08 - 6231

2/9/2021 8:06:27 PM

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PRE-CONSTRUCTION RISK ASSESSMENT (PCRA)

Project #	
Project Title:	Est. Start Date:
Area of Construction:	Est. Duration:
Contractor/Supervisor:	
PCRA Completed by:	

SAFETY/ENGINEERING

Y	N		If YES, CIRCLE ILSM from list below or describe other intervention
		Will exits or exit egress routes from occupied areas change?	A, E, H, J, L
		Will the construction area have less than two remote exits?	A, E, H, J, L
		Will there be excessive distance to exit?	A, E, H, J, L
		Will access to Emergency Services become blocked or obstructed?	A, B, I, J, L
		Will any part of the fire protection systems (detection, notification or suppression) be shut down or impaired for >4 hours in a 24-hour period?	C, E, H, I, K
		Will smoke or firewalls be breached?	A, E, G, H
		Will any temporary construction partitions be built?	D
		Will the project result in the accumulation of construction debris?	E, F, G, H
		Will construction affect grounds safety (pits, storage, equipment, etc.)?	H
		Will construction present other life safety hazards?	H, J
		Will protection of hazardous areas be compromised?	H

INTERVENTION

A. Ensure Alternate Egress Routes
B. Ensure Alternate Emergency Access
C. Fire Department Notification
D. Ensure Smoke-Tight Temporary Construction
E. Additional Fire Fighting Equipment
F. Control Combustible Loads
G. Conduct 2 Fire Drills Per Shift in All Areas
H. Increase Hazard Surveillance Rounds
I. Additional Training of Emergency Personnel
J. Ensure Additional Employee Education
K. Institute a Fire Watch w/documentation
L. Post temporary signage

Y	N	CONSTRUCTION ACTIVITY	If YES, describe intervention
		Will there be any anticipated utility shutdowns? (Communications, electrical, heating/cooling, HVAC, medical gases, vacuum, water, server)	
		Will noise levels be excessive?	
		Will vibration levels be excessive?	
		Will additional security measures be implemented?	

Additional Requirements:

PATIENT SAFETY COORDINATOR

Y	N	CONSTRUCTION ACTIVITY
		Does this project involve a patient care area either directly or adjacent to?
		List:
		Do areas involved have knowledge of construction?
		List:
		Does this project alter patient access building/patient care area, either temporarily or permanently?

If YES, indicate intervention:

Access	1. The new/temporary access path should be intuitive, i.e. easy to follow. 2. Signage should be adequate for decreased visual acuity and at appropriate viewing levels for both ambulating and w/c bound individuals. 3. The access path should be smooth, without tripping hazards. 4. The access path should be handicap accessible.
Construction Area/ Materials	1. Construction areas should not be accessible by unauthorized personnel. 2. Construction areas should be visually identified. 3. Construction materials and tools should be moved and stored appropriately to preclude unauthorized access?
Critical Alarms	**Critical clinical alarms shall be functional and audible within and adjacent to the construction zone? Including but not limited to:** a. Emergency CODE Systems b. Medical Gas Alarms (Oxygen, Air, Suction) c. Wander guard technology d. Vital Sign Monitoring/Telemetry Systems e. Medication//Nutrition Pumps f. Nurse Call Systems

Additional Requirements:

INFECTION CONTROL RISK ASSESSMENT

INFECTION CONTROL COORDINATOR

Y	N	CONSTRUCTION ACTIVITY TYPE	Y	N	PATIENT RISK GROUP (may modify as appropriate))
		A: Inspection, non-invasive activity-includes, not limited to removal of ceiling tiles for inspection (1/50 sq ft), painting (not sanding), wall covering, electrical trim work, minor plumbing, activities which do not generate dust or require cutting of walls or access to ceilings other than for visual inspection.			Low Risk- (ex Office Areas)
		B: Small scale, short duration, moderate to high levels-includes but not limited to installation of telephone/computer cabling, access to chase spaces, cutting of walls or ceiling where dust migration can be controlled.			Medium Risk-(ex Cardiology, ECHO, Endoscopy, Nuclear Medicine, Physical Therapy, Radiology/MRI, Respiratory Therapy)
		C: Work that generates a moderate to high level of dust or requires demolition or removal of any fixed building components or assemblies. Includes but not limited to sanding of walls for painting or wall covering; removal of floor coverings, ceiling tiles, and casework; new wall construction; minor duct work or electrical work above the ceilings; major cabling activity; any activity which cannot be completed in a single work shift.			High Risk-(ex CCU, ER, Labor & Delivery, Laboratories (specimen), Newborn Nursery, Outpatient Surgery, Pediatrics, Pharmacy, Post Anesthesia care, Surgical Units)
		D: Major duration and construction activities-Includes, but not limited to: activities that require consecutive work shifts; requires heavy demolition or removal of a complete cabling system; new construction.			Highest Risk-(ex Any area caring for Immunocompromised patients, Burn Unit, Cardiac Cath Lab, Central Sterile Supply, ICU, Medical Unit, Negative pressure isolation rooms, Oncology, Operating rooms including C-section)

Project Class	Patient Risk Group	TYPE A	TYPE B	TYPE C	TYPE D
	LOW Risk	I	II	II	III/IV
	MEDIUM Risk	I	II	III	IV
	HIGH Risk	I	II	III/IV	IV
	HIGHEST Risk	II	III/IV	III/IV	IV

	During Construction Project	Upon Completion of Project
CLASS I	1. Execute work by methods to minimize raising dust from construction operations. 2. Immediately replace any ceiling tile displaced for visual inspection.	
CLASS II	1. Include all items from Class I above 2. Provides active means to prevent air-borne dust from dispersing into atmosphere 3. Water mist work surfaces to control dust while cutting. 4. Seal unused doors with duct tape. 5. Block off and seal air vents. 6. Place dust mat at access points of work area. 7. Contain construction waste before transport in tightly covered containers. 8. Isolate HVAC system in areas where work is being performed to prevent contamination of duct system.	1. Wipe surfaces with disinfectant. 2. Contain construction waste before transport in tightly covered containers. 3. Wet mop and/or vacuum with HEPA filtered vacuum before leaving work area. 4. Remove isolation of HVAC system in areas where work is being performed.
CLASS III	1. Include all items from Class I/II above 2. **Involve Infection Control in design/planning before construction begins.** 3. Complete all critical barriers i.e. sheetrock, plywood, plastic, to seal area from non-work area or implement control cube method (cart with plastic covering and sealed connection to work site with HEPA vacuum for vacuuming prior to exit) before construction begins. 4. Maintain negative air pressure within work site utilizing HEPA equipped air filtration units. 5. Cover transport receptacles or carts. Tape covering unless solid lid.	1. Include all items from Class I/II above 2. Do not remove barriers from work area until completed project is thoroughly cleaned as required by Chief, EMS and Infection Control Coordinator. 3. Remove barrier materials carefully to minimize spreading of dirt and debris associated with construction. 4. Vacuum work area with HEPA filtered vacuums. 5. Wet mop area with disinfectant.
CLASS IV	1. Include all items from Class I/II/III above 2. **Involve Infection Control in design/planning before construction begins.** 3. Seal holes, pipes, conduits, and punctures appropriately. 4. If exiting to a patient care area, construct anteroom and require all personnel to pass through this room so they can be vacuumed using a HEPA vacuum cleaner before leaving work site or they can wear cloth or paper coveralls that are removed each time they leave the work site. 5. Walk-off mats are recommended to minimize tracking of heavy dirt and dust from construction areas. Shoe covers may be considered in certain areas.	1. Include all items from Class I/II/III above

ICRA PROJECT CLASS:

☐Y ☐N **RISK OF TB EXPOSURE** **TYPE OF RISK:**

If yes, describe intervention:

Additional Requirements:

Patient Safety Coordinator/Date   Infection Control Coordinator/Date

IH/Safety   Date   Project Engineer/Date

PROJECT GENERAL NOTES

1. CONTRACTOR IS NOT AUTHORIZED TO SCALE CONSTRUCTION DOCUMENTS. ARCHITECT IS TO BE NOTIFIED IN THE EVENT A DISCREPANCY IS FOUND IN EITHER SPECIFICATIONS OR CONTRACT DOCUMENTS AT THE EARLIEST PRACTICAL OPPORTUNITY.
2. GENERAL CONTRACTOR SHALL OBSERVE ALL REGULATIONS IMPOSED BY GOVERNING BODIES.
3. CONSTRUCTION SHALL PROCEED IN AN ORDERLY AND CONTINUOUS FASHION IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODES AND ALL OTHER APPLICABLE CODES.
4. THE CONTRACTOR SHALL CONTAIN ALL CONSTRUCTION ACTIVITY, INCLUDING STORAGE OF MATERIAL AND EQUIPMENT, WITHIN THE CONSTRUCTION LIMITS, AT ALL TIMES BEING RESPONSIBLE FOR AND ABIDING BY RULES AND REGULATIONS OF THE OWNER.
5. GENERAL CONTRACTOR TO BE RESPONSIBLE FOR REPAIRING ANY AND ALL SURFACES DAMAGED BY HIMSELF OR SUBCONTRACTORS UNDER HIS CONTROL. REPAIRS ARE TO MATCH EXISTING MATERIALS AND MUST BE ACCEPTABLE TO OWNER.
6. ADEQUATELY PATCH/REPAIR TO MATCH ADJACENT CONSTRUCTION, ALL BUILDING STRUCTURES, COMPONENTS, AND UTILITIES WHICH ARE DISTURBED AND REQUIRE REPAIR AS A RESULT OF WORK PERFORMED UNDER THIS CONTRACT.
7. ALL FLOOR TRANSITIONS BETWEEN DIFFERENT MATERIALS SHALL BE SMOOTH AND FLUSH (MAXIMUM SLOPE = 1/8" PER FOOT).
8. GENERAL CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS FROM JOBSITE. ALL CONSTRUCTION DEBRIS SHALL BE CONTAINED INSIDE CONSTRUCTION LIMITS.
9. ALL WALLS WITH ITEMS SUCH AS GRAB BARS, TOILET ACCESSORIES, WOOD TRIM, SHELVING, CASEWORK, ETC. SHALL BE REINFORCED WITH CONCEALED, FIRE TREATED WOOD BLOCKING OR METAL STUD BLOCKING. (GENERAL CONTRACTOR TO INSTALL BLOCKING TYP.)
10. BUILDING 5 WILL REMAIN OCCUPIED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL TAKE EVERY NECESSARY PRECAUTION TO ENSURE THE UNINTERRUPTED OPERATION OF THE FACILITY, STAFF, PATIENTS AND VISITORS. DISRUPTION TO ADJACENT DEPARTMENTS AS WELL AS DEPARTMENTS ON FLOORS ABOVE OR BELOW SHALL BE COORDINATED WITH THE FACILITY CONTRACT OFFICER. THE CONTRACTOR SHALL COORDINATE ALL WORK, CONSTRUCTION, PATHWAYS, ELEVATOR USAGE, AND UTILITY INTERRUPTION WITH THE OWNER.
11. CONTRACTOR TO EXERCISE ALL PRECAUTIONS TO PROVIDE FOR STAFF, PATIENTS, VISITORS, AND WORKMEN'S SAFETY DURING THE PERFORMANCE OF THIS CONTRACT PER EPA, OSHA, AND OTHER APPLICABLE CODES, STANDARDS, AND REGULATIONS.
12. THE CONTRACTOR SHALL MAINTAIN & KEEP BARRIER FREE THE EXISTING MEANS OF EGRESS.
13. ALL GYPSUM BOARD TO BE MOISTURE/MOLD RESISTANT TYPE X.
14. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF TEMPORARY PARTITIONS AND TEMPORARY VENTILATION SYSTEMS AS REQUIRED TO PREVENT THE SPREAD OF DUST FROM THE CONSTRUCTION AREA TO OCCUPIED AREAS OF THE BUILDING. OCCUPIED AREAS SHALL REMAIN DUST FREE THROUGHOUT THE CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE AFFECTED AREAS OF THE BUILDING (INCLUDING MATERIAL TRANSPORT ROUTES) CLEAN AND DUST FREE.
15. ALL WOOD USED IN WALL CONSTRUCTION SHALL BE FIRE-RETARDANT-TREATED LUMBER.
16. ALL WRITTEN CORRESPONDENCE WILL BE TRANSMITTED FROM SUBCONTRACTOR THROUGH GENERAL CONTRACTOR THROUGH ARCHITECT TO OWNER. ALL PARTIES CORRESPONDENCE ARE TO RECEIVE WRITTEN AND SIGNED COPIES OF SUCH. NO VERBAL AGREEMENTS AFFECTING COST OR ALTERNATIVE CONSTRUCTION METHODS AND ARRANGEMENTS WILL BE CONSIDERED VALID OR BINDING, AND ARE THEREFORE, DISALLOWED.
17. GENERAL CONTRACTOR SHALL COMPLY WITH ALL DIRECTIVES OF THE OWNER. IF CONFLICTS BETWEEN DRAWINGS, SPECIFICATIONS AND REQUIREMENTS OF BUILDING OWNER AND/OR OPERATORS ARISE, THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
18. THE HVAC, PLUMBING AND ELECTRICAL CONTRACTORS SHALL COORDINATE THEIR WORK WITH THE WORK OF OTHER TRADES TO ASSURE THAT THE WORK CAN BE INSTALLED IN A WORKMAN-LIKE MANNER. EACH CONTRACTOR SHALL BE EXPECTED TO COOPERATE WITH OTHER CONTRACTORS IN THE PLACEMENT OF WORK TO AVOID CONFLICTS AND MAINTAIN JOB PROGRESS.
19. IT IS THE INTENT OF THESE DRAWINGS THAT A COMPLETE JOB IS TO BE ACCOMPLISHED IN PREPARING THE BID. THE BIDDER SHALL MAKE ALLOWANCES FOR DETAILS WHICH MIGHT HAVE BEEN INADVERTENTLY OMITTED FROM THE DRAWINGS.
20. ALL EXISTING DUCTWORK, ELECTRICAL OR PIPING IS NOT NECESSARILY SHOWN ON THE DRAWINGS.
21. BEFORE CONTRACTOR(S) BID THE JOB, IT IS IMPERATIVE THEY VISIT THE JOBSITE AND FIELD VERIFY THE EXACT LOCATION OF ALL EXISTING EQUIPMENT, DUCTWORK, ETC. IT WILL BE PART OF THE CONTRACTOR'S RESPONSIBILITY TO DESIGN AND RELOCATE ANY EXISTING OBSTACLES WHICH WILL INTERFERE WITH THE CONTRACTOR'S ABILITY TO INSTALL ALL NEW OR RELOCATED WORK ON HIS CONTRACT.

CONTRACTOR GENERAL NOTES

1. ALL EXISTING DUCTWORK, ELECTRICAL OR PIPING IS NOT NECESSARILY SHOWN ON THE DRAWINGS.
2. BEFORE CONTRACTOR(S) BID THE JOB, IT IS IMPERATIVE THEY VISIT THE JOBSITE AND FIELD VERIFY THE EXACT LOCATION OF ALL EXISTING EQUIPMENT, DUCTWORK, ETC. IT WILL BE PART OF THE CONTRACTOR'S RESPONSIBILITY AND COST TO ENGINEER AND RELOCATE ANY EXISTING OBSTACLES WHICH WILL INTERFERE WITH THE CONTRACTOR'S ABILITY TO INSTALL ALL NEW OR RELOCATED WORK ON HIS CONTRACT.
3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD AND NOTIFY PROJECT ENGINEER OF ALL DISCREPANCIES IF ANY, FOUND PRIOR TO PLACEMENT OF ANY COMPONENTS
4. THE CONTRACTOR WILL TAKE ALL NECESSARY PRECAUTIONS INCLUDING THE BUILDING AND MAINTENANCE OF DUST TIGHT PARTITIONS, DAILY VACUUMING, SWEEPING, AND PROVISION OF CLEAN FLOOR MATS AT THE PROJECT ENTRANCES, TO PREVENT THE INFILTRATION OF DIRT AND DUST FROM THE CONSTRUCTION AREAS INTO THE OWNER OCCUPIED AREAS.
5. PATCH ALL FINISHES WHERE DISTURBED BY THE WORK AND WHERE UNFINISHED SURFACES HAVE BEEN EXPOSED BY DEMOLITION. PATCHING MUST MATCH ADJACENT MATERIALS, COLORS, AND FINISHES. WALL SURFACES THAT ARE PATCHED SHALL HAVE THE FINISHES (PAINT, VINYL WALL COVERING, ETC.) REPLACED FROM CORNER TO CORNER AND FLOOR TO CEILING.
6. UNLESS OTHERWISE INDICATED FINISH ALL NEW FRAMES AND PARTITIONS TO MATCH SURROUNDING. NEW HOLLOW METAL DOORS SHALL BE PAINTED SAME COLOR AS FRAMES. EXISTING PARTITIONS RECEIVING NEW DOOR FRAMES THAT HAVE VINYL WALL COVERING (VWC) SHALL HAVE THE VWC COMPLETELY REMOVED AND REPLACED WITH NEW VWC OF MATCHING TEXTURE AND COLOR.
7. PAINT ALL EXPOSED NEW AND EXISTING PIPING, CONDUIT, WIRE MOLD, ELECTRICAL PANELS, ACCESS PANELS, ETC.,TO MATCH WALL FINISH UNLESS OTHERWISE NOTED.
8. CORRIDOR WALLS AND PLUMBING PARTITIONS SHALL BE CONSIDERED 1 HOUR FIRE RATED WALLS AND NEW OR EXISTING PENETRATIONS MUST BE SEALED ACCORDINGLY WITH APPROVED FIRESTOPPING MATERIAL THE SAME DAY THE PENETRATION IS MADE OR DISCOVERED. ALL FLOOR SLABS, VERTICAL SHAFTS AND STAIRWELLS SHALL BE CONSIDERED 2 HOUR RATED PARTITIONS AND BE SEALED ACCORDINGLY IN THE MANNER LISTED HEREIN. PENETRATIONS THROUGH THE EXTERIOR WALLS SHALL BE SEALED WATERTIGHT.
9. ALL NEW VERTICAL AND HORIZONTAL DUCTS, PIPES, CONDUITS, ETC.,IN FINISHED ROOMS OR AREAS THROUGHOUT BUILDING, NOT ENCASED IN MASONRY OR CONCRETE CONSTRUCTION, SHALL BE FURRED IN, THE FURRING FINISHED TO MATCH THE ROOM FINISH.
10. WHENEVER EXISTING EQUIPMENT, PIPING, DUCTS, ETC., ARE REQUIRED TO BE REMOVED, SUCH REMOVAL SHALL INCLUDE ALL ANCHORS, HANGERS, FOUNDATIONS, ETC., UNLESS NOTED OTHERWISE. AFTER REMOVAL; FLOORS, WALLS, AND CEILINGS SHALL BE FINISHED TO MATCH ADJOINING SURFACES.
11. UTILITY WORK THAT WILL REQUIRE A SHUTDOWN OF EXISTING SERVICE(S) WILL BE DONE AFTER NORMAL WORKING HOURS (NIGHTS, WEEKENDS, HOLIDAYS, ETC.) AT NO ADDITIONAL COST TO THE GOVERNMENT. WORK MUST BE SCHEDULED WITH THE COR WITH MINIMUM TWO WEEKS NOTICE.
12. WORK THAT MUST OCCUR IN OCCUPIED AREAS OF THE MEDICAL CENTER OR DISRUPT A MEDICAL CENTER FUNCTION WILL BE DONE AT TIMES OTHER THAN NORMAL WORKING HOURS (NIGHTS, WEEKENDS, HOLIDAYS, ETC.) AT NO ADDITIONAL COST TO THE GOVERNMENT. WORK SCHEDULE MUST BE COORDINATED WITH THE PROJECT COR. ALL WORK DONE IN THE WORKING PHARMACY REQUIRES SUPERVISION OF A PHARMACIST.
13. ALL ELECTRICAL CIRCUITRY TO BE CONCEALED UNLESS OTHERWISE SPECIFIED. CIRCUITING FOR ELECTRIC DOOR HOLD OPENS IN MASONRY WALLS SHALL BE SURFACE RACEWAY.
14. COORDINATE ALL WORK WITH OTHER TRADES AND EXISTING CONDITIONS TO ELIMINATE CONFLICTS AND/OR INTERFERENCES. THE CONTRACTOR SHALL PROVIDE ALL OFFSETS, FITTINGS, TRANSITIONS, EXTENSIONS, ETC., REQUIRED FOR A COMPLETE AND FUNCTIONAL SYSTEM.
15. DRAWINGS ARE DIAGRAMMATIC AND SHOW ONLY THE GENERAL ARRANGEMENT OF EACH SYSTEM. BECAUSE OF SMALL SCALE OF DRAWINGS IT IS NOT POSSIBLE TO SHOW OR INDICATE ALL BRANCHES, OFFSETS, FITTINGS, BOXES, AND ACCESSORIES WHICH MAY BE REQUIRED. CONTRACTOR MUST CAREFULLY INVESTIGATE STRUCTURAL AND FINISH CONDITIONS AFFECTING ALL WORK, FURNISHING SUCH FITTINGS, TRAPS, VALVES, BOXES, ACCESSORIES, ETC., AS MAY BE REQUIRED.
16. LOCATIONS OF NEW EQUIPMENT, PIPING, AND ASSOCIATED ITEMS SHOWN ON THE DRAWINGS ARE SCHEMATIC ONLY. THE CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION AND ELEVATION FOR ALL WORK, INCLUDING CONNECTIONS TO EXISTING WORK. ALL OFFSETS, FITTINGS, TRANSITIONS, EXTENSIONS, ETC., REQUIRED FOR A COMPLETE AND FUNCTIONAL SYSTEM SHALL BE PROVIDED AT NO ADDITIONAL COST.
17. ALL EXISTING DUCTWORK, ELECTRICAL OR MECHANICAL PIPING, CABLE TRAYS, ETC., IS NOT NECESSARILY SHOWN ON THE DRAWINGS. BEFORE CONTRACTOR PLACES A BID IT IS IMPERATIVE THEY VISIT THE JOBSITE AND FIELD VERIFY THE EXACT LOCATION OF ALL EXISTING EQUIPMENT, DUCTWORK, PIPING, ETC. IT WILL BE PART OF THE CONTRACTOR'S RESPONSIBILITY AND THE CONTRACTOR WILL BEAR THE COST TO ENGINEER AND RELOCATE ANY EXISTING OBSTACLES WHICH WILL INTERFERE WITH THE CONTRACTOR'S ABILITY TO INSTALL ALL NEW OR RELOCATED WORK IN THIS PROJECT.
18. CONTRACTOR SHALL NOT INSTALL CONDUIT, PIPING, LIGHTING, OR OTHER OBSTRUCTIONS UNDER OR ADJACENT TO HVAC EQUIPMENT THAT WILL ELIMINATE OR OBSTRUCT ACCESS TO COILS, MOTORS, VALVES, SWITCHES, PANELS, ETC.
19. BEFORE THE CONTRACTOR BEGINS WORK ALL EXISTING SYSTEM INFORMATION SHALL BE RECORDED SUCH AS TEMPERATURE, FLOW RATE, PRESSURE, CURRENT, VOLATAGE, OR ANY OTHER INFORMATION NECESSARY FOR HIM TO RETURN THE AFFECTED SYSTEM TO ORIGINAL OPERATING CONDITION. UNLESS NOTED OTHERWISE IT IS ASSUMED THAT ALL SYSTEMS (HVAC, ELECTRICAL, PLUMBING, ETC.) ARE WORKING PROPERLY IN EVERY MANNER AT THE BEGINNING OF THE PROJECT. THE CONTRACTOR'S RECORDED MEASUREMENTS MUST BE SUBMITTED TO THE PROJECT ENGINEER FOR REVIEW AND ACCEPTANCE BEFORE ANY DEMOLITION OR OTHER RELATED WORK CAN PROCEED.
20. FOR DOORS BEING REPLACED: IF THE EXISTING DOOR HAS SIGNAGE APPLIED TO IT, THIS SIGNAGE SHOULD BE CAREFULLY REMOVED AND REAPPLIED TO THE NEW DOOR. IF THE SIGNAGE IS DAMAGED DURING REMOVAL OR CANNOT OTHERWISE BE REAPPLIED IT SHOULD BE REPLACED WITH NEW SIGNAGE OF IDENTICAL TYPE.
21. THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING ALL EXISTING ACCESS DOORS TO CONSTRUCTION AREAS, EXISTING MECHANICAL AND ELECTRICAL AREAS, ASSIGNED STORAGE AREAS, EQUIPMENT ACCESS AREAS, ETC. DOORS MUST BE RESTORED TO THE CONDITION ENCOUNTERED AT BEGINNING OF PROJECT. THIS INCLUDES DOOR REPLACEMENT, HARDWARE REPLACEMENT, HARDWARE REPAIR, DOOR REPAIR, ETC.
22. IT IS IMPORTANT THAT ALL REPLACEMENT FIRE RATED DOORS HAVE A GAP OF LESS THAN 3/4" BETWEEN THE BOTTOM OF THE DOOR AND THE FLOOR AT ALL POINTS. CONTRACTOR MUST COORDINATE INSTALLED DOOR FRAME HEIGHT OR MAKE OTHER NECESSARY MODIFICATIONS TO MEET THIS REQUIREMENT AND KEEP ALL FIRE RATED DOORS AND FRAME. BOTTOM SWEEPS ARE NOT ACCEPTABLE UNLESS SPECIFICALLY STATED ON DRAWING.
23. IF THERE IS ANY WORK TO BE DONE ON EXISTING ROOFS, SUCH AS ROOF PENETRATIONS OR STANDS, OR ANYTHING THAT DAMAGES THE INTEGRITY OF THE ROOF, THIS WORK MUST BE DONE BY A CONTRACTOR LICENSED BY THE ROOFING MEMBRANE MANUFACTURER. HE MUST BE APPROVED BY THE MEMBRANE MANUFACTURER SO AS TO NOT VOID OR INTERRUPT EXISTING SINGLE PLY MEMBRANE ROOF WARRANTIES.
24. EXISTING CIRCUITRY (CONDUIT, BOXES, WIRE, ETC.) MAY BE REUSED AT THE CONTRACTOR'S OPTION AS LONG AS IT MEETS THE SAME SPECIFICATIONS REQUIRED FOR NEW CIRCUITRY. ALL WORK, NEW AND EXISTING, SHALL COMPLY WITH THE LATEST NEC CODE.
25. WHERE DOOR AND HARDWARE ARE SHOWN TO BE REMOVED, THE DOOR STOPS ARE TO REMAIN AND BE REUSED UNLESS NOTED OTHERWISE.
26. ALL FIRE PROTECTION SPRINKLERS TO REMAIN IN SERVICE DURING CONSTRUCTION.

ILSM EVALUATION

PROJECT:
LOCATION:
START DATE:

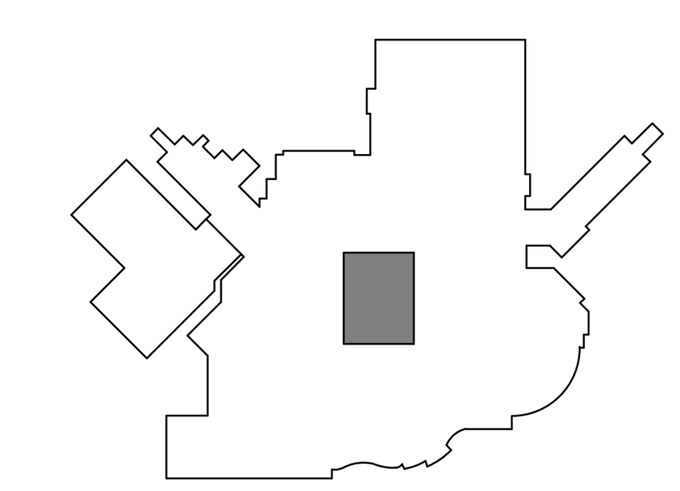
Evaluated Item	YES	NO	Joint Commission ILSM Administrative Actions	If answer is "Yes", see actions required to be taken	Training/Review Date
Will any exit be obstructed?	☐	☐	Ensuring unobstructed exits. When alternative exits have been designed, staff members in affected areas must receive additional training. Buildings or areas under construction must maintain escape routes for construction workers at all times, and the means of exiting construction areas are inspected daily.	Personnel in the building will receive training on alternate routes and exits Construction areas will have designated and marked exits to be clear at all times if necessary	Date: Date:
Will any entrance be obstructed to limit the access to emergency services?	☐	☐	Ensuring free and unobstructed access to emergency services and for fire, police, and other emergency forces.	The construction plans will be reviewed to ensure proper access and will be maintained	Date:
Will any fire detection or suppression system be impaired for > 8 hours in a 24 hour period?	☐	☐	Ensuring that the fire detection and suppression systems are in good working order. A temporary but equivalent system must be provided when any fire system is impaired. Temporary systems must be inspected and tested monthly.	Contractor will be briefed to schedule work to minimize time systems impaired and notify appropriate offices prior to system being impaired	Date:
Will construction be open to other areas without any smoke tight barriers?	☐	☐	Ensuring that temporary construction partitions are smoke tight and built of noncombustible or limited combustible materials that will not contribute to the development or spread of fire.	Contractor will be briefed at pre-construction conference of requirement	Date:
Will fire hazard be substantially higher?	☐	☐	Providing additional firefighting equipment and training staff in its use.	Contractor will be briefed at the pre-construction conference for the need to provide adequate firefighting equipment and training construction employees	Date:
Will smoking be permitted in construction areas?	☐	☐	Prohibiting smoking throughout the organization's buildings and in and near construction areas.	Refer to Fargo VA HCS Smoking Policy	Date:
Will storage, housekeeping and debris removal practices increase the fire load?	☐	☐	Developing and enforcing storage, housekeeping, and debris removal practices that reduce the building's flammable and combustible fire load to the lowest feasible level.	Contractor will be briefed at preconstruction conference of requirement	Date:

Evaluated Item	YES	NO	Joint Commission ILSM Administrative Actions	If answer is "Yes", see actions required to be taken	Training/Review Date
Will the fire hazard increase to justify extra fire drills?	☐	☐	Conducting a minimum of two fire drills per shift per quarter.	Safety Department will evaluate effects of work on life safety and determine if there is a need to increase frequency of drills	Date:
Will hazardous conditions substantially increase in or around the buildings to require extra surveillance activities?	☐	☐	Increasing hazard surveillance of buildings, grounds, and equipment, with special attention to excavations, construction areas, construction storage, and field offices.	A Fire Watch will be implemented as needed	Date:
Will structural features of fire safety be impaired?	☐	☐	Training staff to compensate for impaired structural or compartmentalization features of fire safety.	Personnel in the building will receive training in response for life safety deficiencies if necessary	Date:
Will this project affect the life safety features of all areas?	☐	☐	Conducting organization wide safety education programs to promote awareness of LSC building deficiencies, construction hazards, and ILSMs.	Staff will be made aware of deficiencies, hazards, and interim measures during personal contact, training, and/or information channels. ILSM will be posted by project site.	Date:
Other Life Safety Code considerations?	☐	☐		If Ceiling Tiles are out for more than 4 hours a fire watch will be implemented.	Date:

ILSM Required: ☐ Yes ☐ No   ILSM Issue Date: Evaluation determines no ILSM needed

X ______ Prepared by   X ______ Reviewed By

July 2015   1



Revision#	Description	Date:

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605-271-1144
STONE GROUP ARCHITECTS

STAMP
REGISTERED ARCHITECT — TODD RANDALL STONE — SOUTH DAKOTA — 2.10.21

Office of Construction and Facilities Management
VA U.S. Department of Veterans Affairs

Drawing Title	Phase	Project Title	Project Number
CONSTRUCTION NOTES, PCRA, ICLM	BID SET	UPGRADE PHARMACY 797	VA #438-20-109 SGA #201927
Approved:		Location: SIOUX FALLS, SOUTH DAKOTA	Building Number: 5
		Issue Date: 02/10/2021 · Checked: TRS · Drawn: DAN	Drawing Number: G002

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PHASING INFORMATION:

PHASE 1:

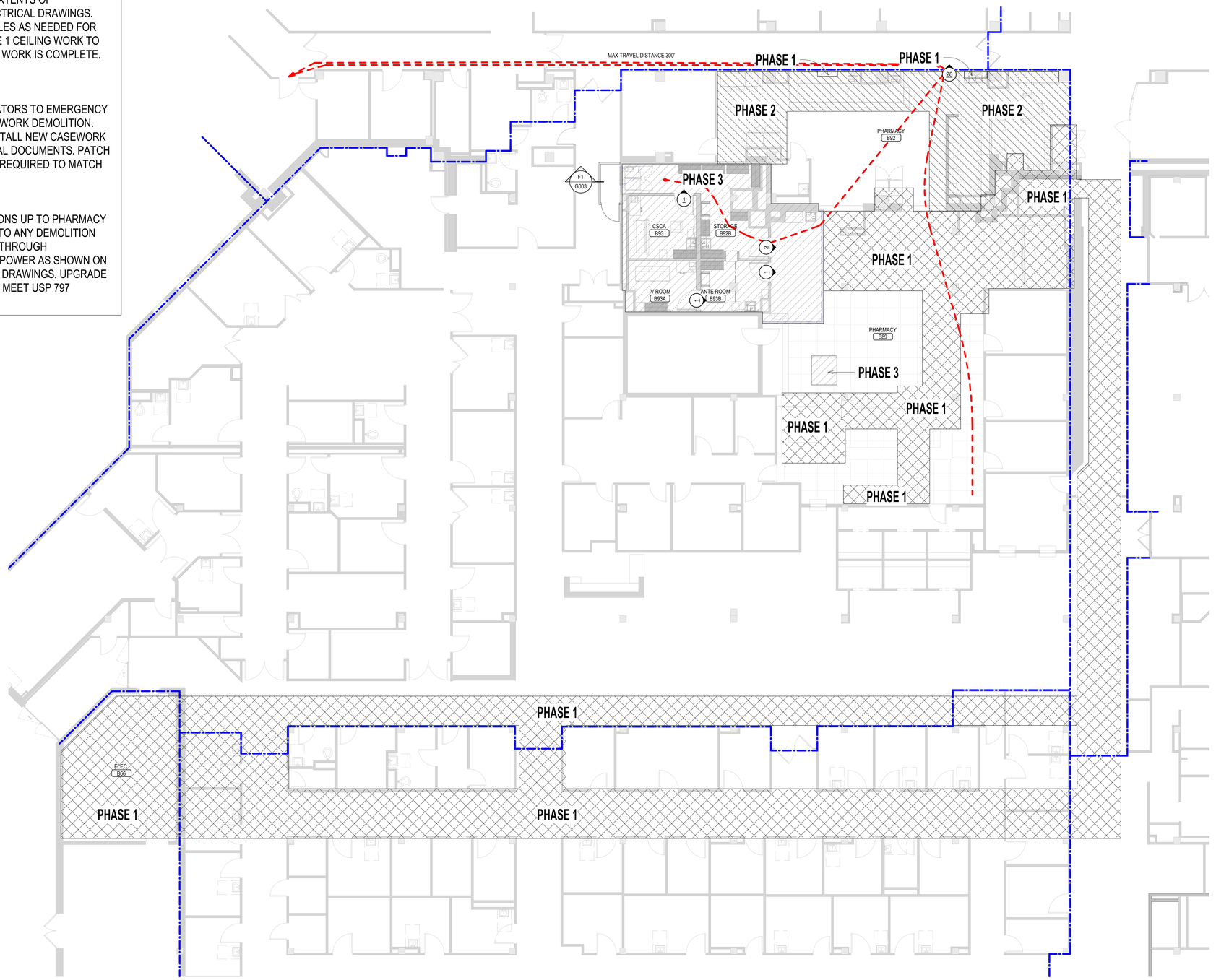
EMERGENCY POWER UPDATES THROUGHOUT PHARMACY B89 AND B92. COORDINATE FULL EXTENTS OF CONSTRUCTION AREAS WITH ELECTRICAL DRAWINGS. REMOVE AND REPLACE CEILING TILES AS NEEDED FOR NEW ELECTRICAL CONDUIT. PHASE 1 CEILING WORK TO BE REINSTALLED DIRECTLY AFTER WORK IS COMPLETE. ORDER LONG LEAD ITEMS.

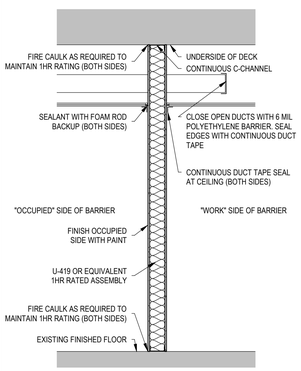
PHASE 2:

RELOCATE PHARMACY REFRIGERATORS TO EMERGENCY POWER LOCATION PRIOR TO CASEWORK DEMOLITION. REMOVE EXISTING CASEWORK INSTALL NEW CASEWORK AS SHOWN ON THE ARCHITECTURAL DOCUMENTS. PATCH AND SEAL EXISTING FLOORING AS REQUIRED TO MATCH ADJACENT FLOORING.

PHASE 3:

CONSTRUCT TEMPORARY PARTITIONS UP TO PHARMACY SECURITY REQUIREMENTS PRIOR TO ANY DEMOLITION WORK. RELOCATE EXISTING PASS THROUGH REFRIGERATORS TO EMERGENCY POWER AS SHOWN ON ARCHITECTURAL AND ELECTRICAL DRAWINGS. UPGRADE EXISTING COMPOUNDING AREA TO MEET USP 797 REQUIREMENTS.





F1 **CONSTRUSTION BARRIER**
1/2" = 1'-0"

NORTH

F2 **LIFE SAFETY AND PHASING PLAN**
1/8" = 1'-0"

CODE INFORMATION

PROJECT INFORMATION:

1. CONSTRUCTION PURPOSE: RENOVATION

2. REASON FOR SUBMITTAL: RENOVATION

3. I CERTIFY THAT TO THE BEST OF OUR KNOWLEDGE THE SUBMITTED PLANS FOR THE ABOVE-REFERENCED PROJECT COMPLY WITH THE REQUIREMENTS OF THE FOLLOWING:
NFPA 101-18 (AND ALL REFERENCED DOCUMENTS)
2018 INTERNATIONAL MECHANICAL CODE (IMC)
2015 UNIFORM PLUMBING CODE (UPC)
2017 NATIONAL ELECTRICAL CODE (NFPA-70)
2018 LIFE SAFETY CODE (NFPA-101)
2015 ABA ACCESSIBILITY STANDARDS
BARRIER FREE DESIGN
2018 IBC WITH LOCAL AMENDMENTS
ASHRAE STANDARD 90.1 (2007)
ASHRAE 62.1 (2007)

4. LOCATION OF ANY ANTICIPATED FUTURE ADDITIONS:
UNKNOWN

5. OWNER:
DEPARTMENT OF VETERANS AFFAIRS
OFFICE OF CONSTRUCTION AND FACILITIES MANAGEMENT
ROYAL C. JOHNSON VETERANS MEMORIAL MEDICAL CENTER
2501 W 22ND STREET
PO BOX 5046
SIOUX FALLS SD 57117-5046

6. DESIGN TEAM:

ARCHITECT:
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605-271-1144
ARCHITECT: TODD STONE
CONTACT: TODD STONE
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CONTACT: JASON GOTTWALT (MECHANICAL)
JASON.GOTTWALT@DUNHAMENG.COM

ERICKSEN ROED & ASSOCIATES
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SUITE 423-S
SAINT PAUL, MN 55114
651-251-7570
CONTACT:
STEVE CLARK (STRUCTURAL)
SCLARK@ERAENG.COM

7. ARCHITECTS SEAL: SEE STAMP AT BOTTOM

8. FIRE SERVICE: CITY OF SIOUX FALLS FIRE DEPARTMENT

9. INSPECTION: VISN SAFETY OFFICER

10. OCCUPANCY GROUP TYPE:
OCCUPANCY - HEALTHCARE

11. CONSTRUCTION TYPE: TYPE II (222)

A. ALLOWABLE FLOOR AREA FROM NFPA-101

PROJECT AREA: 4,283 SF

B. ALLOWABLE HEIGHT CALCULATIONS

OCCUPANCY - **B-BUSINESS(1ST FLOOR OF HOSPITAL); TO BE DETERMINED BY VA.**
TYPE OF CONSTRUCTION: TYPE II-B
ALLOWABLE STORIES: N/A
ALLOWABLE HEIGHT: N/A
ACTUAL STORIES: MULTIPLE (EXISTING)
ACTUAL HEIGHT: 72'-0" (EXISTING)
NO HEIGHT MODIFICATIONS REQUIRED

C. FIRE-RESISTANCE RATING FOR BUILDING ELEMENTS: TYPE II-B

BEARING WALLS (EXTERIOR): 0 HR
BEARING WALLS INTERIOR: 0 HR
NON-BEARING WALLS (EXTERIOR): 0 HR
PARTITIONS: 0 HR
SMOKE BARRIERS BETWEEN SMOKE COMPARTMENTS: 1 HR
STRUCTURAL FRAME:
FLOOR AND FLOOR/CEILING: 0 HR
ROOF AND ROOF/CEILING: 0 HR
SHAFT ENCLOSURES: 1 HR
STAIRWAY CONSTRUCTION: 1 HR

12. ACTIVE FIRE SAFETY SYSTEMS

(a) GENERATOR POWERED EMERGENCY LIGHTING
(b) BATTERY POWERED EXIT LIGHTING
(c) HOOD SUPPRESSION SYSTEM
(d) PORTABLE EXTINGUISHERS
(e) AUTOMATIC AIR-HANDLING SHUT-DOWN
(f) FIRE ALARM SYSTEM

13. WATER SUPPLY: CITY OF SIOUX FALLS

14. SEWAGE TREATMENT: CITY OF SIOUX FALLS

15. HANDICAP PROVISIONS:
ACCESSIBLE ROUTE, LAVATORIES AND SIGNAGE

16. OCCUPATIONAL LOAD:
BUSINESS: 100 SF/PERSON GROSS

EGRESS CAPACITY:
STAIRWAY: .3 IN./PERSON
DOOR: .2 IN./PERSON

DEAD END CORRIDORS: NOT TO EXCEED 50 FT

TRAVEL DISTANCE TO EXIT: 300 FT

SMOKE COMPARTMENTS: (USING HEALTHCARE OCCUPANCY BASIS)
(18.3.7.1(2)) AT LEAST 2 PER FLOOR
(18.3.7.1(3)) NOT TO EXCEED 40,000 SF EACH

BUILDING CODES, GUIDES, MANUALS

NOTE: ALL WORK IS TO BE PERFORMED TO THE LATEST EDITION OF THE FOLLOWING CODES, ORDINANCES, AND LAWS WHICH INCLUDE, BUT ARE NOT LIMITED TO:

- VA DIRECTIVES, DESIGN MANUALS, MASTER SPECIFICATIONS, VA NATIONAL CAD STANDARD APPLICATION GUIDE, AND OTHER GUIDANCE INFORMATION ON THE TECHNICAL INFORMATION LIBRARY (TIL)
- INTERNATIONAL BUILDING CODE (IBC) (ONLY WHEN SPECIFICALLY REFERENCED IN VA DESIGN DOCUMENTS)
- NFPA 101 LIFE SAFETY CODE
- NFPA NATIONAL FIRE CODES WITH THE EXCEPTION OF NFPA 5000 AND NFPA 900
- OCCUPATIONAL, SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS
- VA SEISMIC DESIGN REQUIREMENTS, H-18-8
- NATIONAL ELECTRICAL CODE (NEC)
- INTERNATIONAL PLUMBING CODE (IPC)
- ASME BOILER AND PRESSURE VESSEL CODE
- ASME CODE FOR PRESSURE PIPING
- ARCHITECTURAL BARRIER ACT ACCESSIBILITY STANDARDS (ABAAS) INCLUDING VA SUPPLEMENT, BARRIER FREE DESIGN GUIDE (PG-18-13)
- BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE, AMERICAN CONCRETE INSTITUTE AND COMMENTARY (ACI 318)
- MANUAL OF STEEL CONSTRUCTION; LOAD AND RESISTANCE FACTOR DESIGN SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS, AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC)
- ENERGY POLICY ACT OF 2005 (EPACT)
- DOE INTERIM FINAL RULE: ENERGY CONSERVATION STANDARDS FOR NEW FEDERAL, COMMERCIAL AND MULTI-FAMILY HIGH-RISE RESIDENTIAL BUILDINGS AND NEW LOW-RISE RESIDENTIAL BUILDINGS, 10 CFR PARTS 433, 434, AND 435.
- FEDERAL LEADERSHIP IN HIGH PERFORMANCE AND SUSTAINABLE BUILDINGS: MEMORANDUM OF UNDERSTANDING (MOU)
- EXECUTIVE ORDER 13423: STRENGTHENING FEDERAL ENVIRONMENT, ENERGY, AND TRANSPORTATION MANAGEMENT.
- THE PROVISIONS FOR CONSTRUCTION AND SAFETY SIGNS, STATED IN THE GENERAL REQUIRMENTS SECTION 01010 IF THE VA MASTER CONSTRUCTION SPECIFICATION.
- VENTILATION FOR THE ACCEPTABLE INDOOR AIR QUALITY – ASHRAE STANDARD 62.1 – 2004.
- SAFETY STANDARD FOR REFRIGERATION SYSTEMS – ASHRAE STANDARD 15 – 2007.
- USP 800
- USP 797
- USP 795
- VA PHARMACY SERVICE DESIGN (PG-18-12) DATED:SEPTEMBER 24,2020)

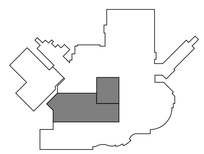
GENERAL CODE PLAN NOTES:

A. ANY DISCREPANCIES OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER BEFORE PROCEEDING WITH THE WORK.

B. SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.

CODE PLAN LEGEND

- 0 / 0.0" / 0.0" — OCCUPANTS / REQUIRED WIDTH / PROVIDED WIDTH
- EX — EXIT
- 1 — OCCUPANT LOAD
- CONSTRUCTION LIMITS
- SMOKE BARRIER



KEYPLAN
NTS

NORTH

Revision#	Description	Date:

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STONE GROUP ARCHITECTS

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PRELIMINARY NOT FOR CONSTRUCTION

Office of Construction and Facilities Management

VA U.S. Department of Veterans Affairs

Drawing Title: LIFE SAFETY CODE REVIEW AND PHASING PLAN	Phase: BID SET	Project Title: UPGRADE PHARMACY 797	Project Number: VA #438-20-109 SGA #201927
Approved:	FOR OFFICIAL USE ONLY	Location: SIOUX FALLS, SOUTH DAKOTA	Building Number: 5
		Issue Date: 02/10/2021 / Checked: TRS / Drawn: DAN	Drawing Number: G003

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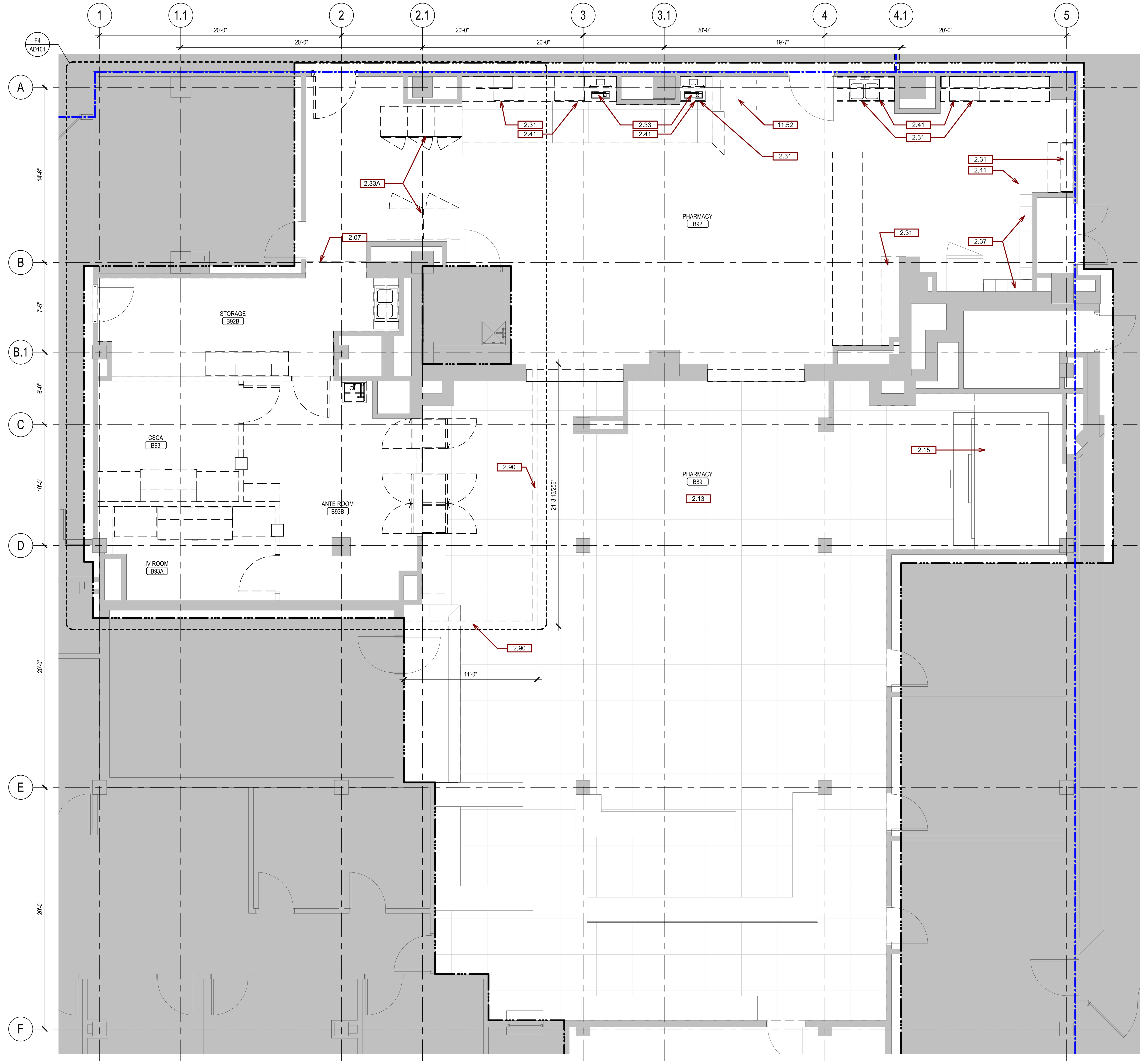


OVERALL DEMO PLAN

F4 — 1/4" = 1'-0"

NORTH

GENERAL DEMOLITION PLAN NOTES:

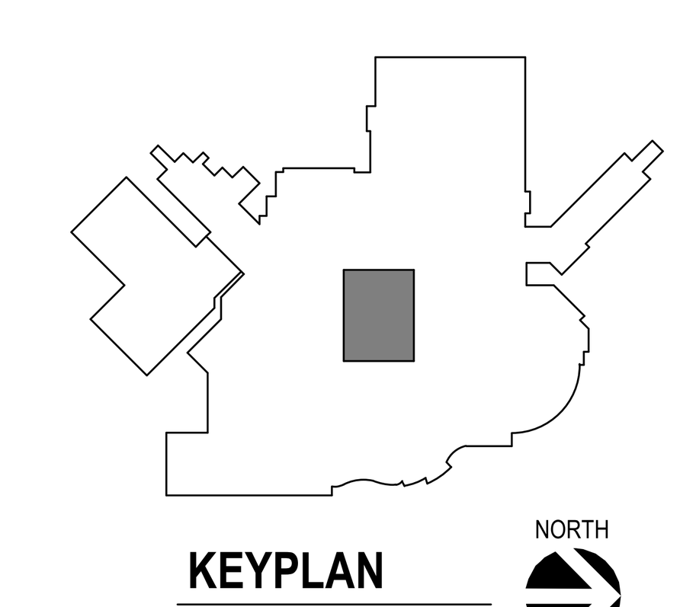
A. PROTECT ALL EXISTING UTILITIES.
B. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AT THE PROJECT SITE.
C. PATCH REMAINING EXISTING CONSTRUCTION, AFFECTED BY DEMOLITION, TO MATCH EXISTING U.O.N.
D. EXISTING ITEMS TO REMAIN ARE SHOWN AS HALFTONE.
E. DEMO ITEMS ARE SHOWN AS DASHED.
F. INFILL OF THE PENETRATIONS IN FIRE RATED WALLS SHALL MAINTAIN THE INTEGRITY OF THE RATING.
G. COORDINATE RELOCATION OF SALVAGED ITEMS WITH THE OWNER.
H. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION RELEVANT TO DEMOLITION & PATCHING.
I. EXISTING PHARMACY SHELVING NOT SHOWN IN PLAN. COORDINATE WITH OWNER TO REMOVE EXISTING SHELVING PRIOR TO WORK IN EACH PHASE.
J. COORDINATE REMOVAL AND REINSTALLATION OF WALL MOUNTED ITEMS WITH OWNER.
K. CONTRACTOR IS TO PROTECT THE EXISTING FLOORING IN ROOM B92 AND PATCH AND SEAL AS REQUIRED TO MATCH EXISTING.

SGA KEYNOTES

Key Value	Keynote Text
2.07	EXISTING EXPANSION JOINT TO REMAIN.
2.13	EXISTING ANTIFATIGUE FLOORING TO REMAIN.
2.15	EXISTING CAROUSEL TO REMAIN.
2.31	REMOVE EXISTING CASEWORK.
2.33	EQUIPMENT TO BE RELOCATED BY OWNER.
2.33A	EQUIPMENT TO BE RELOCATED TO EMERGENCY POWER OUTLETS THROUGHOUT CONSTRUCTION.
2.37	REMOVE AND SALVAGE LOCKERS FOR REINSTALLATION.
2.41	PATCH AND SEAL UNDER SYSTEMS FURNITURE AS NEEDED TO MATCH EXISTING FLOORING.
2.90	TEMPORARY CONSTRUCTION BARRIER WALL FOR PHASE 3 CONSTRUCTION. TERMINATE AT DECK ABOVE. CONSTRUCT PRIOR TO DEMOLITION.
11.52	TUG ROBOT LOCATION. REINSTALL AFTER PHASE 2 IS COMPLETE.

DEMOLITION PLAN LEGEND

- EXISTING ITEMS TO REMAIN
- DEMOLITION ITEMS
- OVERALL PROJECT CONSTRUCTION LIMITS
- DEMO ACT CEILING
- EXISTING FLOORING TRANSITION



KEYPLAN
NTS
NORTH

Revision#	Description	Date:

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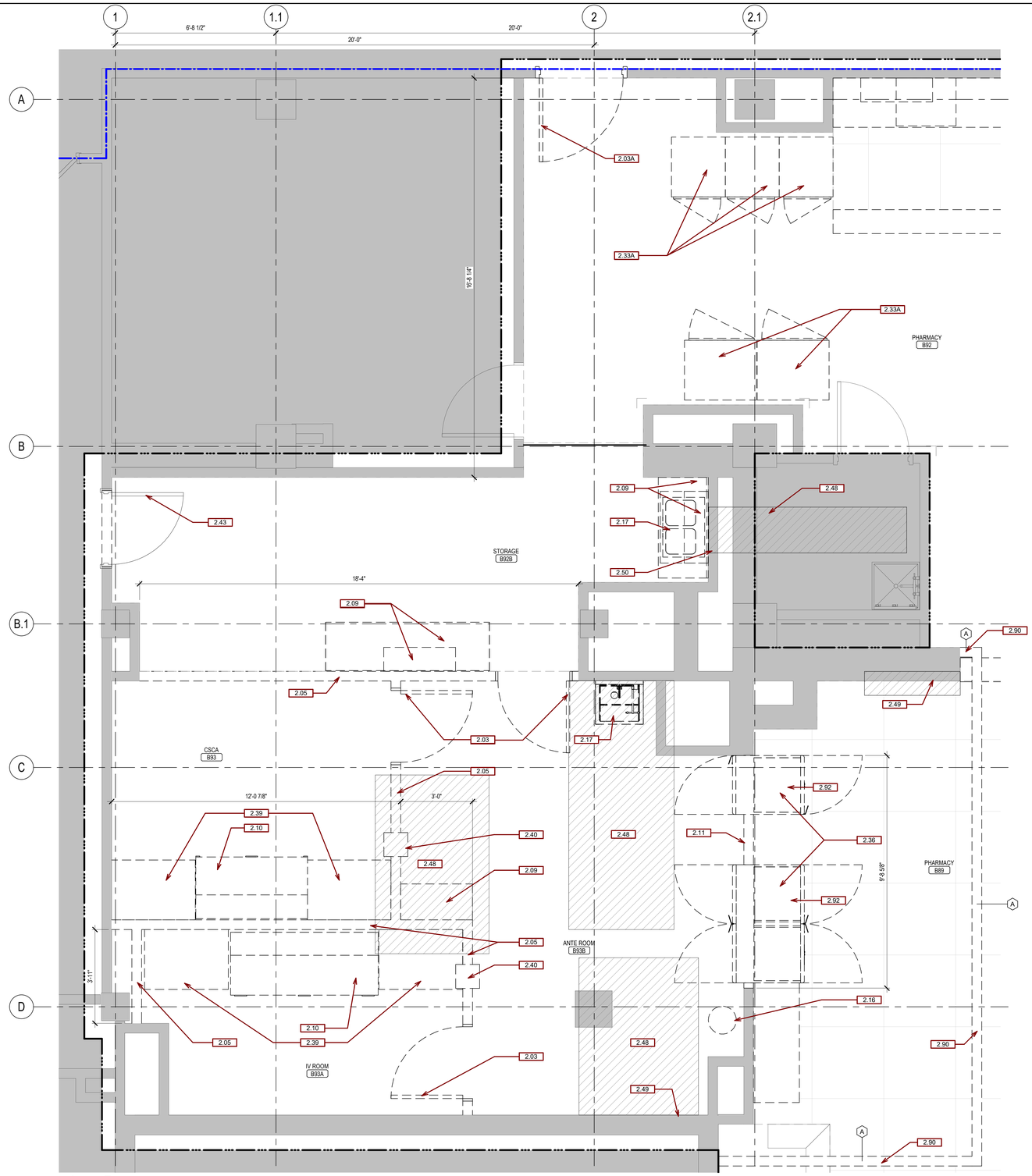
STAMP

Office of Construction and Facilities Management

VA U.S. Department of Veterans Affairs

Drawing Title	Phase	Project Title	Project Number
OVERALL DEMOLITION PLAN	BID SET	UPGRADE PHARMACY 797	VA #438-20-109 SGA #201927
			Building Number: 5
Approved:		Location: SIOUX FALLS, SOUTH DAKOTA	Drawing Number: AD100
		Issue Date: 02/10/2021 · Checked: TRS · Drawn: DAN	



NORTH

F4 DEMOLITION PLAN
1/2" = 1'-0"

GENERAL DEMOLITION PLAN NOTES:

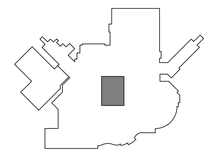
A. PROTECT ALL EXISTING UTILITIES.
B. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AT THE PROJECT SITE.
C. PATCH REMAINING EXISTING CONSTRUCTION, AFFECTED BY DEMOLITION, TO MATCH EXISTING U.O.N.
D. EXISTING ITEMS TO REMAIN ARE SHOWN AS HALFTONE.
E. DEMO ITEMS ARE SHOWN AS DASHED.
F. INFILL OF THE PENETRATIONS IN FIRE RATED WALLS SHALL MAINTAIN THE INTEGRITY OF THE RATING.
G. COORDINATE RELOCATION OF SALVAGED ITEMS WITH THE OWNER.
H. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION RELEVANT TO DEMOLITION & PATCHING.
I. EXISTING PHARMACY SHELVING NOT SHOWN IN PLAN. COORDINATE WITH OWNER TO REMOVE EXISTING SHELVING PRIOR TO WORK IN EACH PHASE.
J. COORDINATE REMOVAL AND REINSTALLATION OF WALL MOUNTED ITEMS WITH OWNER.
K. CONTRACTOR IS TO PROTECT THE EXISTING FLOORING IN ROOM B92 AND PATCH AND SEAL AS REQUIRED TO MATCH EXISTING.

SGA KEYNOTES

Key Value	Keynote Text
2.03	REMOVE DOOR & FRAME.
2.03A	REMOVE DOOR & FRAME, INFILL TO MATCH EXISTING WALL AND FLOORING.
2.05	REMOVE WALL.
2.09	REMOVE CASEWORK.
2.10	REMOVE HOOD.
2.11	REMOVE PORTION OF WALL.
2.16	REMOVE EXISTING DRAIN FROM ABANDONED SINK. SEE PLUMBING.
2.17	REMOVE SINK.
2.33A	EQUIPMENT TO BE RELOCATED TO EMERGENCY POWER OUTLETS THROUGHOUT CONSTRUCTION.
2.36	REMOVE AND SALVAGE PASS THROUGH REFRIGERATORS FOR USE DURING CONSTRUCTION. CONNECT TO EMERGENCY POWER AS SHOWN ON PLANS.
2.39	REMOVE STAINLESS STEEL DESK.
2.40	REMOVE PASSTHROUGH.
2.43	TEMPORARY CONSTRUCTION ACCESS DOOR.
2.48	SAWCUT SLAB AND REPAIR AS REQUIRED FOR INSTALLATION OF WASTE PIPE. SEE PLUMBING.
2.49	DEMO PORTION OF GYPSUM WALL BOARD AND REPAIR AS REQUIRED FOR CHAIR CARRIER AND PLUMBING ROUGH-IN CONNECTION.
2.50	DEMO PORTION OF GYPSUM WALL BOARD AND REPAIR FOR REMOVAL OF CHAIR CARRIER AND PLUMBING ROUGH-IN CONNECTION.
2.90	TEMPORARY CONSTRUCTION BARRIER WALL FOR PHASE 3 CONSTRUCTION. TERMINATE AT DECK ABOVE. CONSTRUCT PRIOR TO DEMOLITION.
2.92	REMOVE AND REINSTALL EXISTING RUBBER FLOOR AS NEEDED TO AVOID GAP AROUND REFRIGERATORS.

DEMOLITION PLAN LEGEND

- EXISTING ITEMS TO REMAIN
- DEMOLITION ITEMS
- OVERALL PROJECT CONSTRUCTION LIMITS
- DEMO ACT CEILING
- EX ► EXISTING FLOORING TRANSITION



KEYPLAN NTS — NORTH

Revision#	Description	Date:

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REGISTERED ARCHITECT — TROY R. STONE — SOUTH DAKOTA — 2-10-21

Office of Construction and Facilities Management

VA U.S. Department of Veterans Affairs

Drawing Title: ENLARGED DEMOLITION PLAN	Phase: BID SET	Project Title: UPGRADE PHARMACY 797	Project Number: VA #438-20-109 SGA #201927
Approved:		Location: SIOUX FALLS, SOUTH DAKOTA	Building Number: 5
		Issue Date: 02/10/2021 / Checked: TRS / Drawn: DAN	Drawing Number: AD101

VA FORM 08 - 6231

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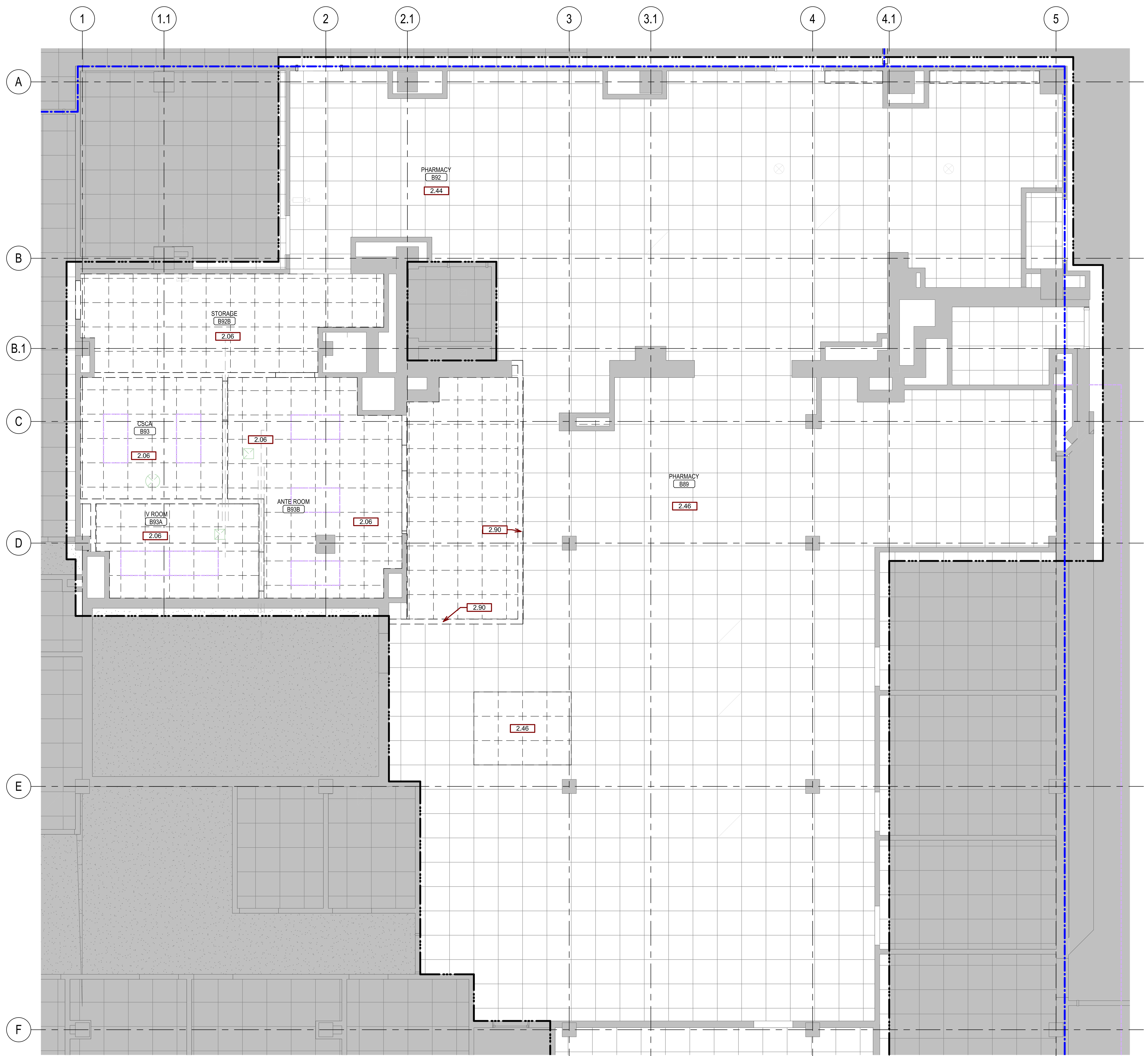

F4 DEMOLITION RCP
1/4" = 1'-0"

NORTH

GENERAL DEMOLITION PLAN NOTES:

A. PROTECT ALL EXISTING UTILITIES.
B. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AT THE PROJECT SITE.
C. PATCH REMAINING EXISTING CONSTRUCTION, AFFECTED BY DEMOLITION, TO MATCH EXISTING U.O.N.
D. EXISTING ITEMS TO REMAIN ARE SHOWN AS HALFTONE.
E. DEMO ITEMS ARE SHOWN AS DASHED.
F. INFILL OF THE PENETRATIONS IN FIRE RATED WALLS SHALL MAINTAIN THE INTEGRITY OF THE RATING.
G. COORDINATE RELOCATION OF SALVAGED ITEMS WITH THE OWNER.
H. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION RELEVANT TO DEMOLITION & PATCHING.
I. EXISTING PHARMACY SHELVING NOT SHOWN IN PLAN. COORDINATE WITH OWNER TO REMOVE EXISTING SHELVING PRIOR TO WORK IN EACH PHASE.
J. COORDINATE REMOVAL AND REINSTALLATION OF WALL MOUNTED ITEMS WITH OWNER.
K. CONTRACTOR IS TO PROTECT THE EXISTING FLOORING IN ROOM B92 AND PATCH AND SEAL AS REQUIRED TO MATCH EXISTING.

SGA KEYNOTES

Key Value	Keynote Text
2.06	REMOVE CEILING
2.44	EXISTING CEILING TO REMAIN.
2.46	DEMO AND REPLACE CEILING AS NEEDED FOR MECHANICAL AND ELECTRICAL UPDATES. SEE MECHANICAL AND ELECTRICAL.
2.90	TEMPORARY CONSTRUCTION BARRIER WALL FOR PHASE 3 CONSTRUCTION. TERMINATE AT DECK ABOVE. CONSTRUCT PRIOR TO DEMOLITION.

DEMOLITION PLAN LEGEND

- EXISTING ITEMS TO REMAIN
- DEMOLITION ITEMS
- OVERALL PROJECT CONSTRUCTION LIMITS
- DEMO ACT CEILING
- EX EXISTING FLOORING TRANSITION

KEYPLAN
NTS
NORTH

Revision#	Description	Date:

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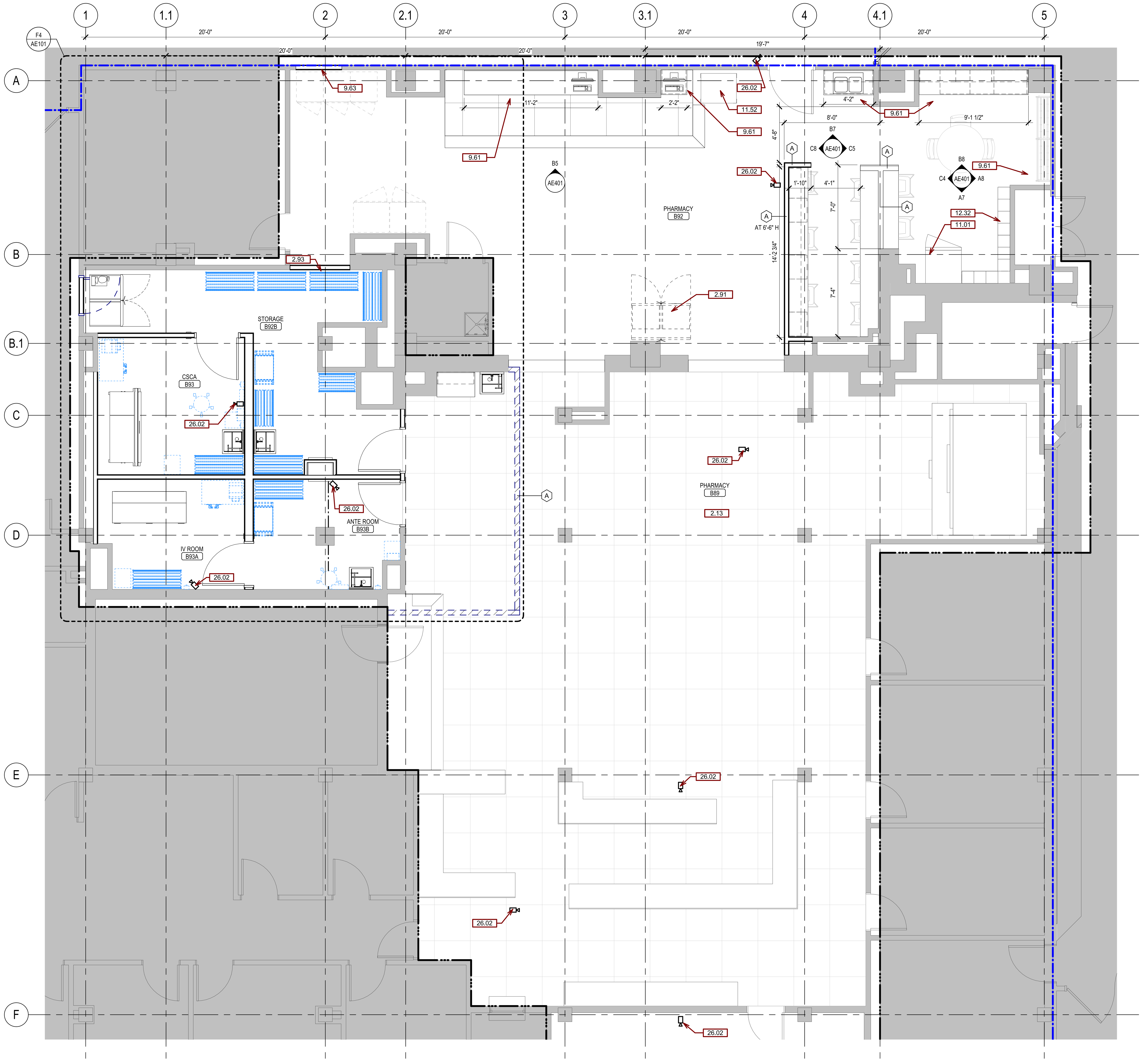
Office of Construction and Facilities Management
VA U.S. Department of Veterans Affairs

Drawing Title	Phase	Project Title	Project Number
DEMOLITION RCP	BID SET	UPGRADE PHARMACY 797	VA #438-20-109 SGA #201927
Approved:		Location: SIOUX FALLS, SOUTH DAKOTA	Building Number: 5
		Issue Date: 02/10/2021; Checked: TRS; Drawn: DAN	Drawing Number: AD102

GENERAL FLOOR PLAN NOTES:

- A. ANY DISCREPANCIES OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER BEFORE PROCEEDING WITH THE WORK.
- B. FURNITURE IS PROVIDED AND INSTALLED BY OTHERS.
- C. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS.
- D. CONTRACTOR & SUBCONTRACTORS TO VERIFY ALL EXISTING CONDITIONS AT THE PROJECT SITE.
- E. ALL MATERIALS & EQUIPMENT SHALL BE INSTALLED PER MANUFACTURERS INSTRUCTIONS.
- F. DETAILS SHOWN ARE TYPICAL UNLESS OTHERWISE NOTED. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
- G. PROVIDE WOOD BACKING FOR ALL BATH ACCESSORIES, HANDRAILS, OR OTHER ITEMS ATTACHED TO BUILDING WALLS.
- H. PROVIDE ADA COMPLIANT SIGNAGE FOR ALL REQUIRED AREAS, ROOMS, & ACCESSIBLE PATHS.
- I. HEIGHT OF OPERATIONAL OR DISPENSING PORTION OF ACCESSORIES & FIXTURES NOT TO EXCEED 48" A.F.F. SEE SHEET G-002.
- J. WINDOWS TYPES, SEE SCHED.
- K. ALL WALLS ARE WALL TYPE A U.O.N.
- L. SEE ENLARGED FLOOR PLANS FOR UNIT WALL TYPES.
- M. PROVIDE CONTROL JOINTS IN DRYWALL EVERY 30'-0".
- N. ALL DIMENSIONS ARE TO OUTSIDE OF WALL FRAMING.
- O. FOR TILE FLOOR INSTALLATION: CONTRACTOR TO USE SCHLUTER PRODUCTS AS BASIS OF DESIGN FOR WATERPROOFING & KERDI & DITRA PRODUCTS AS APPLICABLE TO MANUFACTURER RECOMMENDATIONS.
- P. SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- Q. FLOORING TRANSITIONS TO BE PROVIDED BY CONTRACTOR.
- R. CONTRACTOR IS TO PROTECT THE EXISTING FLOORING IN ROOM B92 AND PATCH AND SEAL AS REQUIRED TO MATCH EXISTING.



SGA KEYNOTES

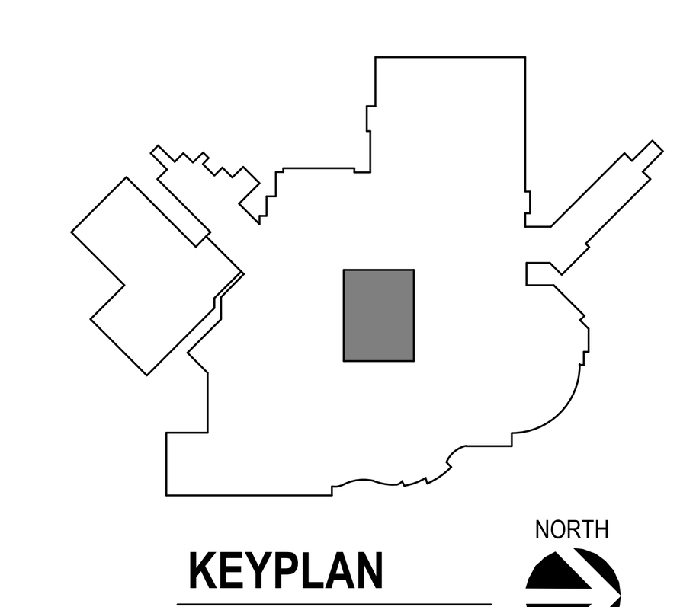
Key Value	Keynote Text
2.13	EXISTING ANTIFATIGUE FLOORING TO REMAIN.
2.91	TEMPORARY LOCATION OF RELOCATED PASS THROUGH REFRIGERATOR DURING CONSTRUCTION. CONNECT TO EMERGENCY POWER.
2.93	PROVIDE DUST PROTECTION DURING PHASE 2 UNTIL WALL IS AIR TIGHT.
9.61	PATCH AND SEAL FLOORING UNDER SYSTEMS FURNITURE TO MATCH EXISTING FLOORING AS NEEDED.
9.63	PATCH AND SEAL FLOORING AT DOOR TO MATCH EXISTING.
11.01	PHARMACY REFRIGERATOR. CONNECT TO EMERGENCY POWER AFTER COMPLETION OF PHASE 1.
11.52	TUG ROBOT LOCATION. REINSTALL AFTER PHASE 2 IS COMPLETE.
12.32	REINSTALL SALVAGED LOCKERS.
26.02	SECURITY CAMERA - SEE ELECTRICAL.

WALL TYPES

A1 INDICATED THUS ON FLOOR PLANS

A	- NON-RATED:	5/8" G.W.B., 3 5/8" MTL STUD, 5/8" G.W.B
AA	- NON-RATED:	5/8" G.W.B., 3 5/8" MTL STUD
B	- NON-RATED:	5/8" G.W.B., 8" MTL STUD, 5/8" G.W.B
F	- NON-RATED:	5/8" G.W.B., 2 1/2" MTL STUD

NOTE: SEE SHEET A-601 FOR MORE DESCRIPTION OF WALL TYPE.



KEYPLAN
NTS
NORTH

NORTH

F4 GROUND FLOOR PLAN
1/4" = 1'-0"

Revision#	Description	Date:

CONSULTANTS

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Office of Construction and Facilities Management
VA U.S. Department of Veterans Affairs

Drawing Title: GROUND FLOOR PLAN
Approved:
Phase: BID SET
Project Title: UPGRADE PHARMACY 797
Location: SIOUX FALLS, SOUTH DAKOTA
Issue Date: 02/10/2021
Checked: TRS
Drawn: DAN
Project Number: VA #438-20-109 SGA #201927
Building Number: 5
Drawing Number: AE100

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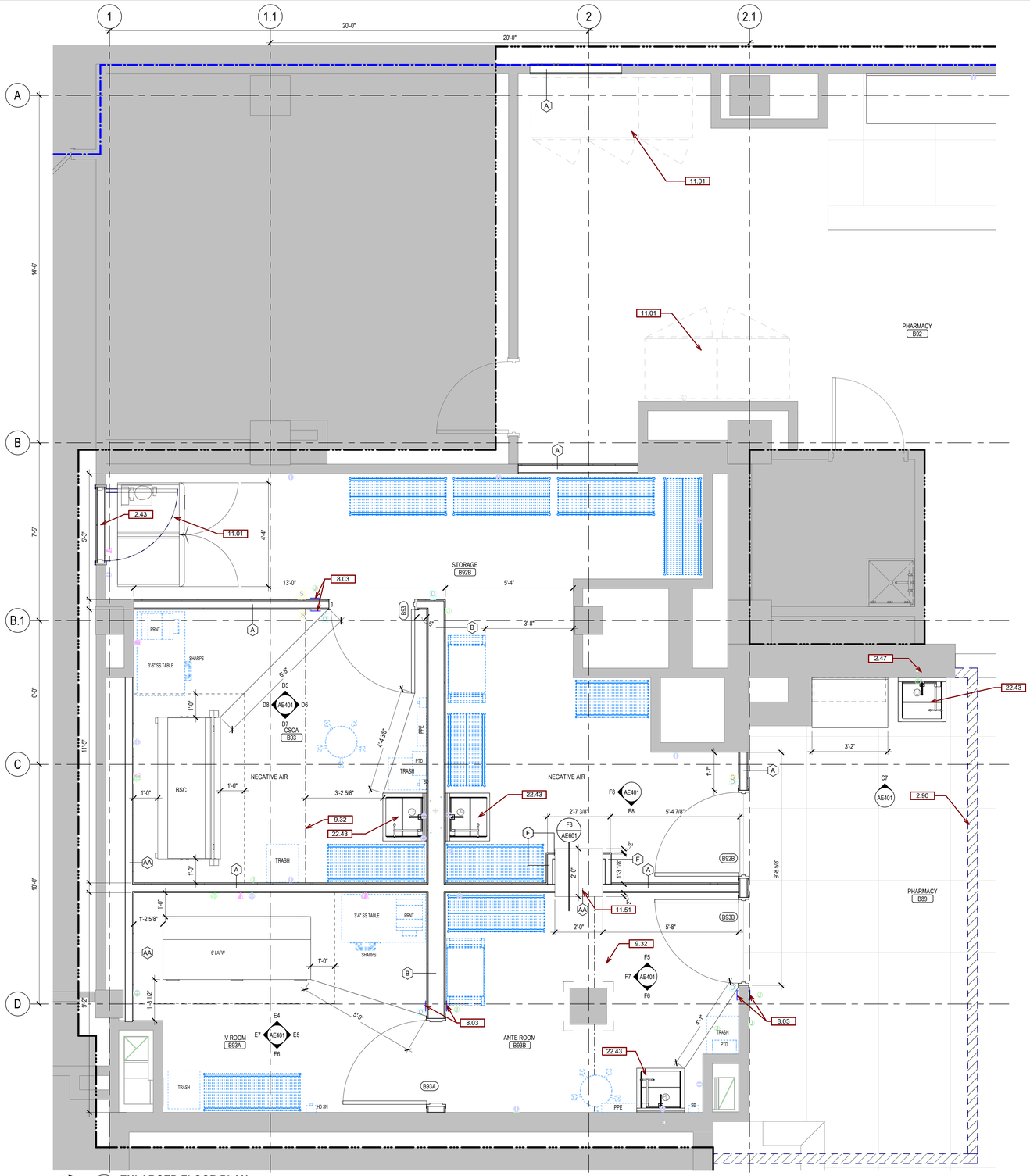


F4 **ENLARGED FLOOR PLAN**
1/2" = 1'-0"

NORTH

GENERAL FLOOR PLAN NOTES:

A. ANY DISCREPANCIES OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER BEFORE PROCEEDING WITH THE WORK.
B. FURNITURE IS PROVIDED AND INSTALLED BY OTHERS.
C. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS.
D. CONTRACTOR & SUBCONTRACTORS TO VERIFY ALL EXISTING CONDITIONS AT THE PROJECT SITE.
E. ALL MATERIALS & EQUIPMENT SHALL BE INSTALLED PER MANUFACTURERS INSTRUCTIONS.
F. DETAILS SHOWN ARE TYPICAL UNLESS OTHERWISE NOTED. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
G. PROVIDE WOOD BACKING FOR ALL BATH ACCESSORIES, HANDRAILS, OR OTHER ITEMS ATTACHED TO BUILDING WALLS.
H. PROVIDE ADA COMPLIANT SIGNAGE FOR ALL REQUIRED AREAS, ROOMS, & ACCESSIBLE PATHS.
I. HEIGHT OF OPERATIONAL OR DISPENSING PORTION OF ACCESSORIES & FIXTURES NOT TO EXCEED 48" A.F.F. SEE SHEET G-002.
J. WINDOWS TYPES, SEE SCHED.
K. ALL WALLS ARE WALL TYPE A U.O.N.
L. SEE ENLARGED FLOOR PLANS FOR UNIT WALL TYPES.
M. PROVIDE CONTROL JOINTS IN DRYWALL EVERY 30'-0".
N. ALL DIMENSIONS ARE TO OUTSIDE OF WALL FRAMING.
O. FOR TILE FLOOR INSTALLATION: CONTRACTOR TO USE SCHLUTER PRODUCTS AS BASIS OF DESIGN FOR WATERPROOFING & KERDI & DITRA PRODUCTS AS APPLICABLE TO MANUFACTURER RECOMMENDATIONS.
P. SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
Q. FLOORING TRANSITIONS TO BE PROVIDED BY CONTRACTOR.
R. CONTRACTOR IS TO PROTECT THE EXISTING FLOORING IN ROOM B92 AND PATCH AND SEAL AS REQUIRED TO MATCH EXISTING.

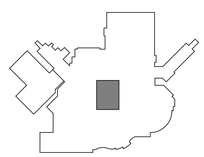
SGA KEYNOTES

Key Value	Keynote Text
2.43	TEMPORARY CONSTRUCTION ACCESS DOOR.
2.47	GYPSUM WALL BOARD PARTITION CUTTING AND REPAIR REQUIRED FOR CHAIR CARRIER AND PLUMBING ROUGH-IN CONNECTION.
2.90	TEMPORARY CONSTRUCTION BARRIER WALL FOR PHASE 3 CONSTRUCTION. TERMINATE AT DECK ABOVE. CONSTRUCT PRIOR TO DEMOLITION.
8.03	TOUCHLESS ADA ACTUATOR.
9.32	LINE OF DEMARCATION
11.01	PHARMACY REFRIGERATOR. CONNECT TO EMERGENCY POWER AFTER COMPLETION OF PHASE 1.
11.51	PASSTHROUGH WITH HEPA FILTER.
22.43	SINK WITH EYEWASH STATION - SEE PLUMBING.

WALL TYPES — INDICATED THUS ON FLOOR PLANS

A	- NON-RATED:	5/8" G.W.B., 3 5/8" MTL STUD, 5/8" G.W.B
AA	- NON-RATED:	5/8" G.W.B., 3 5/8" MTL STUD
B	- NON-RATED:	5/8" G.W.B., 8" MTL STUD, 5/8" G.W.B
F	- NON-RATED:	5/8" G.W.B., 2 1/2" MTL STUD

NOTE: SEE SHEET A-601 FOR MORE DESCRIPTION OF WALL TYPE.



KEYPLAN NTS — NORTH

Revision#	Description	Date:

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STONE GROUP ARCHITECTS

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REGISTERED ARCHITECT — STONE GROUP ARCHITECTS — SOUTH DAKOTA — 2-10-21

Office of Construction and Facilities Management

VA U.S. Department of Veterans Affairs

Drawing Title: ENLARGED PLAN	Phase: BID SET	Project Title: UPGRADE PHARMACY 797	Project Number: VA #438-20-109 SGA #201927
Approved:		Location: SIOUX FALLS, SOUTH DAKOTA	Building Number: 5
		Issue Date: 02/10/2021 / Checked: TRS / Drawn: DAN	Drawing Number: AE101

VA FORM 08 - 6231

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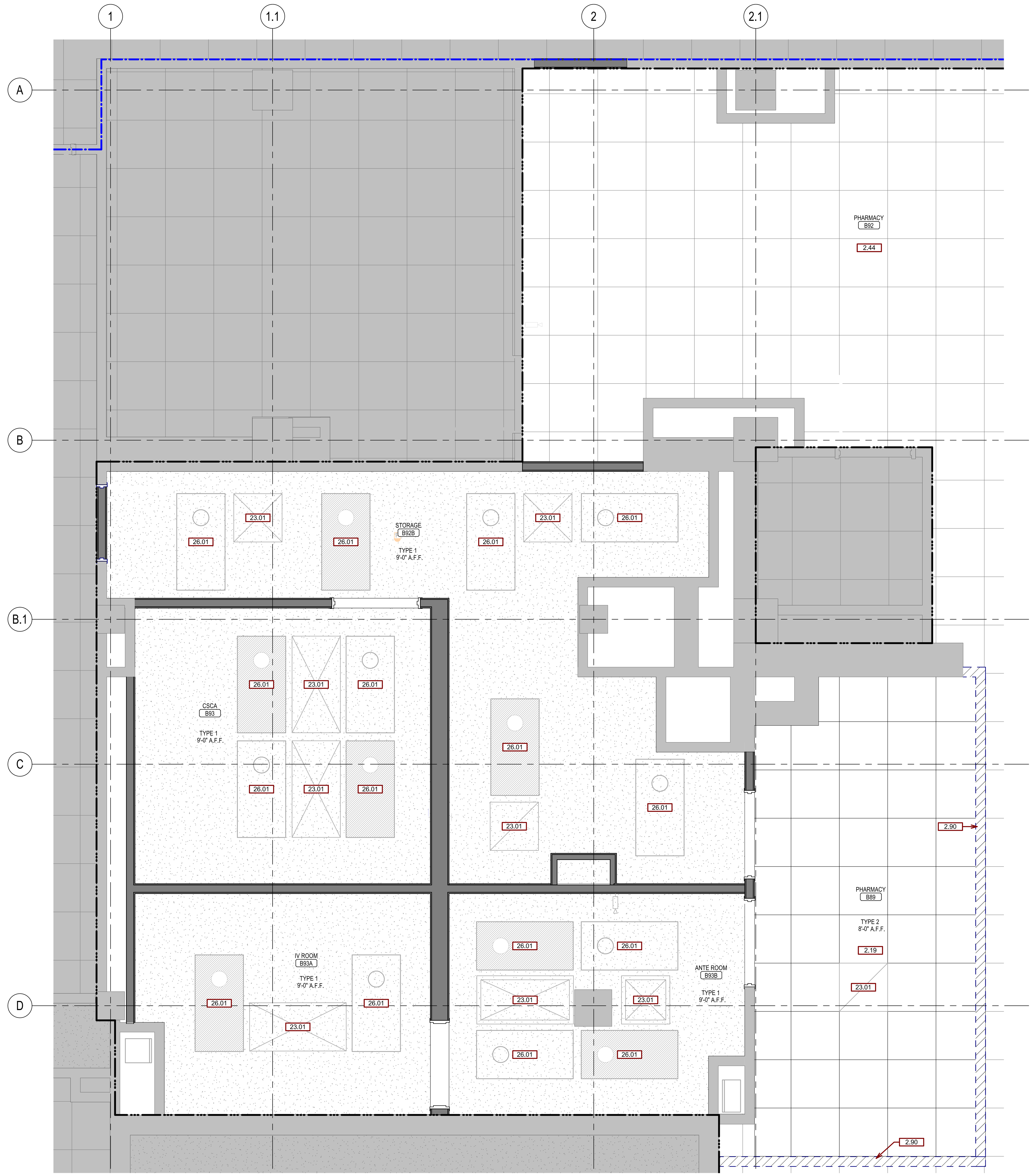


F4 **ENLARGED REFLECTED CEILING PLAN**
1/2" = 1'-0"

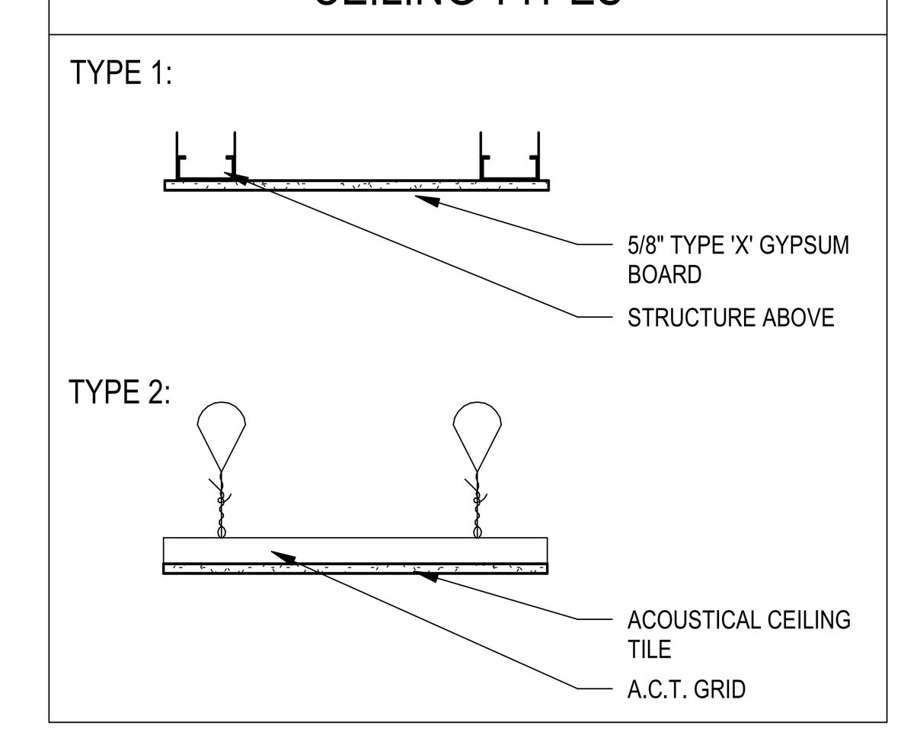
GENERAL RCP NOTES:

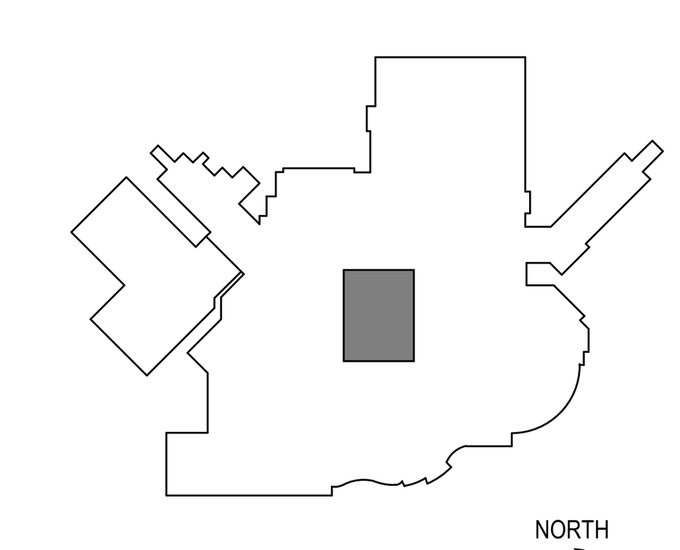
A. ANY DISCREPANCIES FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECTS AND THE OWNER BEFORE PROCEEDING WITH ALL THE WORK.
B. ALL ITEMS INSTALLED IN CEILINGS ARE TO BE CENTERED AND /OR SYMMETRICAL ON THE CENTERLINE OF ROOMS AND CENTERED IN TILES.
C. INSTALL ALL WALL MOUNTED EXIT SIGNS AND OTHER FIXTURES CENTERED ABOVE OPENINGS WHERE POSSIBLE.
D. REFLECTED CEILING PLANS SHOW LOCATIONS OF ITEMS THAT ARE ARCHITECTURALLY SIGNIFICANT ONLY. MECHANICAL AND ELECTRICAL ITEMS INDICATED ARE FOR REFERENCE ONLY. REFER TO MECHANICAL AND ELECTRICAL DOCUMENTS.
E. GYPSUM USED IN RESTROOM AND OTHER AREAS EXPOSED TO MOISTURE SHALL BE WATER RESISTANT GYPSUM BOARD.
F. SUSPENDED CEILING TO BE CENTERED WITH THE BALANCE GRID DESIGN WITH EDGE UNITS NO LESS THAN 50% OF THE TILE SIZE.
G. PAINT HORIZONTAL AND VERTICAL FACES OF THE SOFFITS SPECIFIED PAINT COLOR, UNLESS NOTED OTHERWISE.
H. ALL BULKHEAD HORIZONTAL AND VERTICAL FACES TO BE PAINTED TO MATCH EXISTING, UNLESS NOTED OTHERWISE.
I. ALL GYPSUM BOARD CEILINGS TO BE PAINTED SPECIFIED ROOM COLOR, UNLESS OTHERWISE NOTED.
J. ALL BULKHEADS TO EXTEND PAST ADJACENT CEILING HEIGHT 2" UNLESS OTHERWISE NOTED.
K. AT RCP SECTIONS REFER TO REFLECTED CEILING PLAN FOR CEILING/SOFFIT ELEVATIONS.

SGA KEYNOTES

Key Value	Keynote Text
2.19	REMOVE CEILING AS NEEDED FOR CONSTRUCTION AND REPLACE AT COMPLETION.
2.44	EXISTING CEILING TO REMAIN.
2.90	TEMPORARY CONSTRUCTION BARRIER WALL FOR PHASE 3 CONSTRUCTION. TERMINATE AT DECK ABOVE. CONSTRUCT PRIOR TO DEMOLITION.
23.01	MECH ELEMENT - SEE MECH.
26.01	LIGHT FIXTURE - SEE ELEC.

CEILING TYPES





KEYPLAN
NTS

Revision#	Description	Date:

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REGISTERED ARCHITECT
TODD RANDALL STONE
SOUTH DAKOTA
2.10.21

Office of Construction and Facilities Management
VA U.S. Department of Veterans Affairs

Drawing Title	REFLECTED CEILING PLAN
Approved:	
Phase	BID SET
Project Title	UPGRADE PHARMACY 797
Location	SIOUX FALLS, SOUTH DAKOTA
Issue Date	02/10/2021
Checked	TRS
Drawn	DAN
Project Number	VA #438-20-109 SGA #201927
Building Number	5
Drawing Number	AE201

VA FORM 08 - 6231

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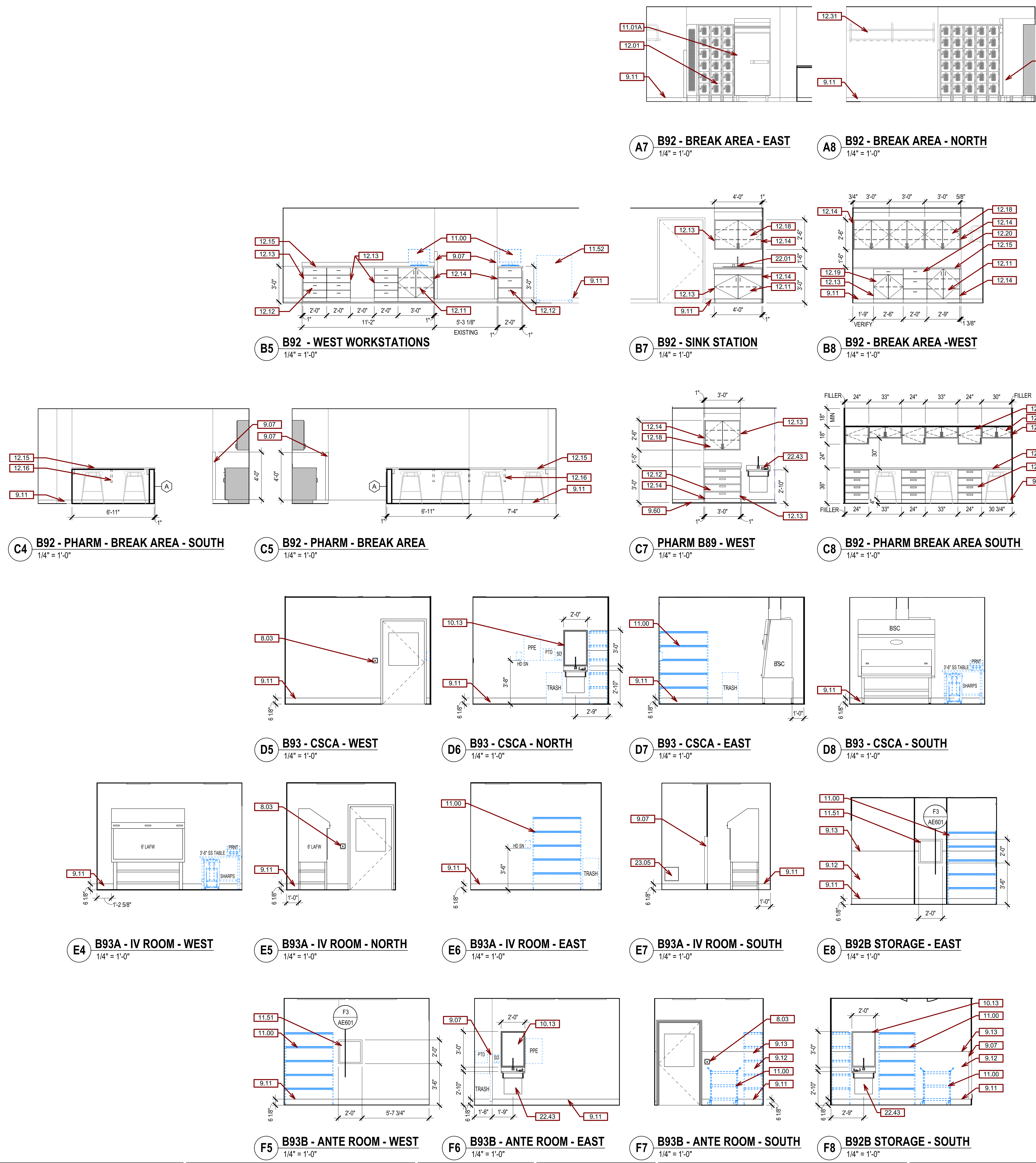


A7 B92 - BREAK AREA - EAST — 1/4" = 1'-0"

A8 B92 - BREAK AREA - NORTH — 1/4" = 1'-0"

B5 B92 - WEST WORKSTATIONS — 1/4" = 1'-0"

B7 B92 - SINK STATION — 1/4" = 1'-0"

B8 B92 - BREAK AREA -WEST — 1/4" = 1'-0"

C4 B92 - PHARM - BREAK AREA - SOUTH — 1/4" = 1'-0"

C5 B92 - PHARM - BREAK AREA — 1/4" = 1'-0"

C7 PHARM B89 - WEST — 1/4" = 1'-0"

C8 B92 - PHARM BREAK AREA SOUTH — 1/4" = 1'-0"

D5 B93 - CSCA - WEST — 1/4" = 1'-0"

D6 B93 - CSCA - NORTH — 1/4" = 1'-0"

D7 B93 - CSCA - EAST — 1/4" = 1'-0"

D8 B93 - CSCA - SOUTH — 1/4" = 1'-0"

E4 B93A - IV ROOM - WEST — 1/4" = 1'-0"

E5 B93A - IV ROOM - NORTH — 1/4" = 1'-0"

E6 B93A - IV ROOM - EAST — 1/4" = 1'-0"

E7 B93A - IV ROOM - SOUTH — 1/4" = 1'-0"

E8 B92B STORAGE - EAST — 1/4" = 1'-0"

F5 B93B - ANTE ROOM - WEST — 1/4" = 1'-0"

F6 B93B - ANTE ROOM - EAST — 1/4" = 1'-0"

F7 B93B - ANTE ROOM - SOUTH — 1/4" = 1'-0"

F8 B92B STORAGE - SOUTH — 1/4" = 1'-0"

GENERAL ELEVATION NOTES:

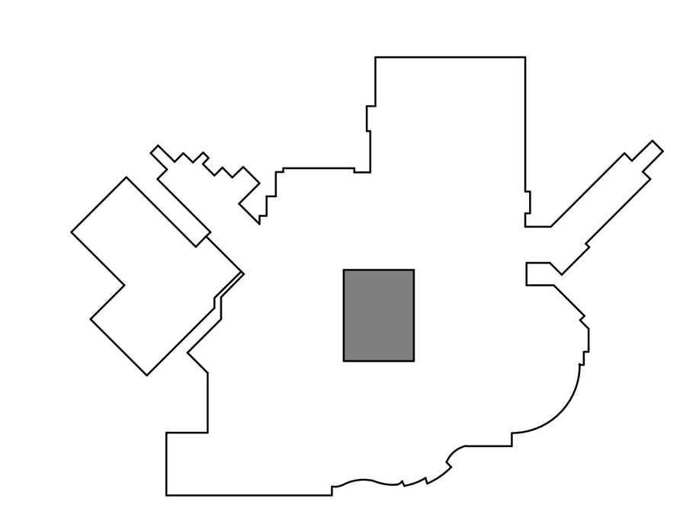
A. ANY DISCREPANCIES OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER BEFORE PROCEEDING WITH THE WORK.
B. FURNITURE IS PROVIDED AND INSTALLED BY OTHERS.
C. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS.
D. CONTRACTOR & SUBCONTRACTORS TO VERIFY ALL EXISTING CONDITIONS AT THE PROJECT SITE.
E. ALL MATERIALS & EQUIPMENT SHALL BE INSTALLED PER MANUFACTURERS INSTRUCTIONS.
F. DETAILS SHOWN ARE TYPICAL UNLESS OTHERWISE NOTED. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
G. PROVIDE WOOD BACKING FOR ALL BATH ACCESSORIES, HANDRAILS, OR OTHER ITEMS ATTACHED TO BUILDING WALLS.
H. GYPSUM USED IN RESTROOMS SHALL BE WATER RESISTANT GYPSUM BOARD. USE DURAROCK @ ALL PORCELAIN & CERAMIC TILE LOCATIONS.
I. PROVIDE ADA COMPLIANT SIGNAGE FOR ALL REQUIRED AREAS, ROOMS, & ACCESSIBLE PATHS.
J. HEIGHT OF OPERATIONAL OR DISPENSING PORTION OF ACCESSORIES & FIXTURES NOT TO EXCEED 48" A.F.F.

GENERAL CASEWORK NOTES:

A. ANY DISCREPANCIES OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER BEFORE PROCEEDING WITH THE WORK.
B. COORDINATE DEVICE PENETRATIONS AT COUNTERTOPS W/ MECHANICAL & ELECTRICAL.
C. PROVIDE COUNTERTOP SUPPORTS AT ALL OPEN SPACES APPROXIMATELY 3'-0" O.C. BRACKETS TO BE PAINTED TO MATCH SPECIFIED WALL FINISH.
D. PROVIDE FINISHED END PANELS AT ALL EXPOSED MILLWORK SURFACES. ALL PLAM CABINETS TO HAVE PVC EDGES. MATCH PVC EDGE TO PLAM. SUBMIT SAMPLES FOR APPROVAL.
E. PROVIDE 4" RESILIENT BASE AT ALL BASE CABINETS (UON).
F. MILLWORK SUPPLIER SHALL PROVIDE FILLER PANELS & SCRIBE STRIPS WHERE NEEDED FOR COMPLETE INSTALLATION.
G. CABINETS OVER 30" WIDE SHALL HAVE 1" THICK PARTICLE BOARD CORE.
H. DO NOT PROVIDE SIDESPLASH UNLESS OTHERWISE NOTED.
I. UNLESS OTHERWISE INDICATED, PROVIDE PRODUCTS OF QUALITY SPECIFIED BY AWI ARCHITECTURAL WOODWORK QUALITY STANDARDS FOR PREMIUM GRADE.
J. INSTALL BLOCKING AS REQUIRED IN ALL PARTITIONS TO RECEIVE COUNTERS, SHELVING, MARKERBOARDS, ETC.
K. VERIFY ALL GROMMET LOCATIONS AND COUNT WITH OWNER.
L. PROVIDE STAINLESS STEEL (18" PER SIDE) BEHIND HOOD. REFER TO DRAWINGS FOR LOCATIONS.
M. FINISHES SCHEDULE PROVIDED BY OWNER
N. ALL OWNER FURNISHED EQUIPMENT TO BE CONTRACTOR INSTALLED WITH ---- PRIOR TO INSTALL.

SGA KEYNOTES

Key Value	Keynote Text
8.03	TOUCHLESS ADA ACTUATOR.
9.07	S.S. CORNER GUARD.
9.09	WALL BASE
9.11	BASE AS SCHEDULED.
9.12	RIDGID VINYL WALL PROTECTION - 1. WAINSCOT. SEE FINISH SCHEDULE.
9.13	RIGID VINYL WALL PROTECTION - 2. TOP CAP. SEE FINISH SCHDULE.
9.60	REINSTALL ANTI-FATIGUE FLOORING
10.13	24" X 36" MIRROR WITH STAINLESS STEEL TRIM
11.00	EQUIPMENT, BY OWNER.
11.01A	REFRIGERATOR, N.I.C.
11.51	PASSTHROUGH WITH HEPA FILTER.
11.52	TUG ROBOT LOCATION. REINSTALL AFTER PHASE 2 IS COMPLETE.
12.01	FURNITURE, BY OWNER
12.11	LOCKABLE BASE CABINET WITH FIXED SHELVING.
12.12	FOUR DRAWER PULL OUT SHELVING.
12.13	FINISHED END.
12.14	FILLER STRIP.
12.15	COUNTERTOP.
12.16	METAL SURFACE MOUNT COUNTER SUPPORT BRACKET. COLOR TBD BY OWNER.
12.18	LOCKABLE UPPER CABINETS W/ SLOPED TOP AND PULL OUT SHELVING.
12.19	LOCKABLE BASE CABINET W/ DRAWER AND FIXED SHELVING.
12.20	LOCKABLE THREE DRAWER BASE CABINET.
12.21	LOCKABLE UPPER CABINETS W/ PULL OUT SHELVING.
12.22	LOCKABLE UPPER CABINETS.
12.31	WALL MOUNTED COATRACK.
22.01	SINK - SEE PLUMBING.
22.43	SINK WITH EYEWASH STATION - SEE PLUMBING.
23.05	LOW AIR RETURN. SEE MECHANICAL.



KEYPLAN
NTS
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Revision#	Description	Date:

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Office of Construction and Facilities Management
VA U.S. Department of Veterans Affairs

Drawing Title: INTERIOR ELEVATIONS
Approved:
Phase: BID SET
Project Title: UPGRADE PHARMACY 797
Location: SIOUX FALLS, SOUTH DAKOTA
Issue Date: 02/10/2021
Checked: TRS
Drawn: DAN
Project Number: VA #438-20-109 SGA #201927
Building Number: 5
Drawing Number: AE401

GENERAL DOOR AND WINDOW NOTES:

A. VERIFY ALL DOOR AND WINDOW OPENINGS WITH MANUFACTURER.
B. PROVIDE ADA APPROVED LEVER TYPE HARDWARE FOR ALL DOORS UNLESS OTHERWISE NOTED (U.O.N.).
C. PROVIDE 1" INSULATED GLASS FOR ALL EXTERIOR GLAZING AND 1/4" GLASS FOR ALL INTERIOR GLAZING.
D. COORDINATE DOOR PROTECTION WITH DOOR SUPPLIER.
E. COORDINATE DOOR HARDWARE STYLE AND FINISH WITH OWNER.
F. SPRING HINGE CLOSER ALLOWED @ DOOR CLOSER LOCATIONS. VERIFY WITH OWNER AND 2015 IBC.

DOOR SCHEDULE

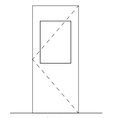
DOOR #	DOOR WIDTH	DOOR HEIGHT	DOOR TYPE	DOOR MATERIAL	DOOR GLAZING	FRAME TYPE	FRAME MATERIAL	FRAME DEPTH	RATING	HDWR	REMARKS
B92B	3'-6"	7'-0"	G : D3	WDR-1	T	F1	HM	4 7/8"	-	2	
B93	3'-6"	7'-0"	G : D3	WDR-1	T	F1	HM	4 7/8"	-	1	ADA ACTUATOR
B93A	3'-6"	7'-0"	G : D3	WDR-1	T	F1	HM	9 1/4"	-	2a	ADA ACTUATOR INTERCONNECTED WITH B93B
B93B	3'-6"	7'-0"	G : D3	WDR-1	T	F1	HM	4 7/8"	-	2a	ADA ACTUATOR INTERCONNECTED WITH B93A

WDR-1: SEE COLOR AND MATERIAL SCHEDULE

GLAZING LEGEND

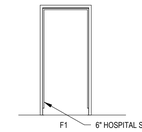
T - 1/4" TEMPERED GLASS

DOOR TYPES

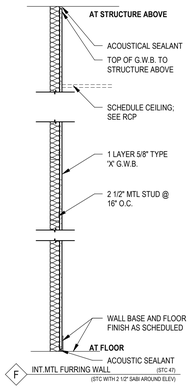


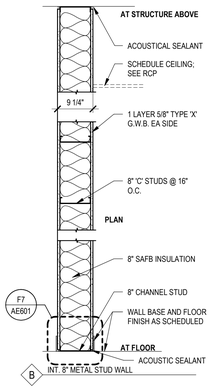
NOTE:
A. ALL DOORS TO HAVE SMOKE SEALS.

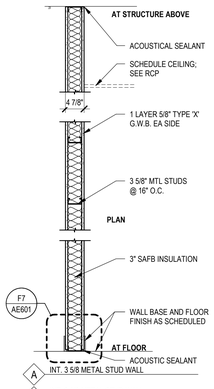
FRAME TYPES



NOTE:
A. ALL RATED FRAMES TO MATCH DOOR RATINGS.





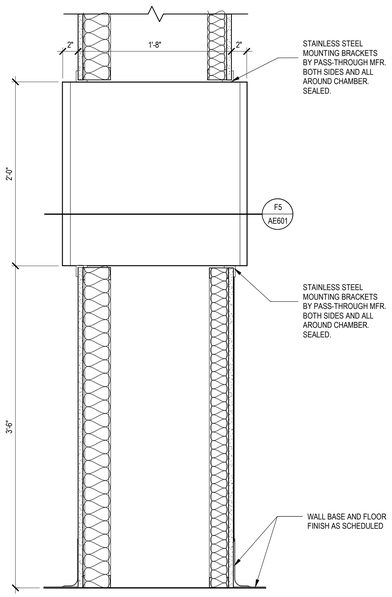


WALL TYPES

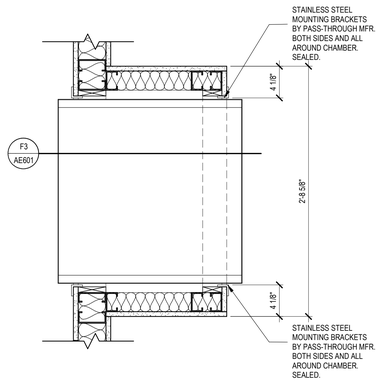
X' INDICATED THUS ON FLOOR PLANS

A	- NON-RATED:	5/8" G.W.B., 3 5/8" MTL STUD, 5/8" G.W.B
AA	- NON-RATED:	5/8" G.W.B., 3 5/8" MTL STUD
B	- NON-RATED:	5/8" G.W.B., 8" MTL STUD, 5/8" G.W.B
F	- NON-RATED:	5/8" G.W.B., 2 1/2" MTL STUD

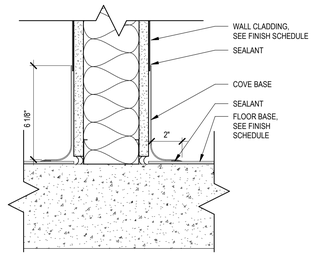
NOTE: SEE SHEET A-601 FOR MORE DESCRIPTION OF WALL TYPE.



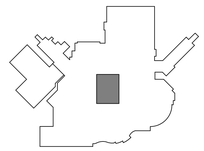
F3 SECTION DETAIL - PASS THROUGH
1 1/2" = 1'-0"



F5 PLAN DETAIL - PASS THROUGH
1 1/2" = 1'-0"



F7 COVE BASE DETAIL, TYP
3" = 1'-0"



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STONE GROUP ARCHITECTS

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REGISTERED ARCHITECT
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2-JD-21

Office of Construction and Facilities Management

VA U.S. Department of Veterans Affairs

Drawing Title: DOOR SCHEDULE AND DETAILS	Phase: BID SET	Project Title: UPGRADE PHARMACY 797	Project Number: VA #438-20-109 SGA #201927
Approved:		Location: SIOUX FALLS, SOUTH DAKOTA	Building Number: 5
		Issue Date: 02/10/2021 / Checked: TRS / Drawn: DAN	Drawing Number: AE601

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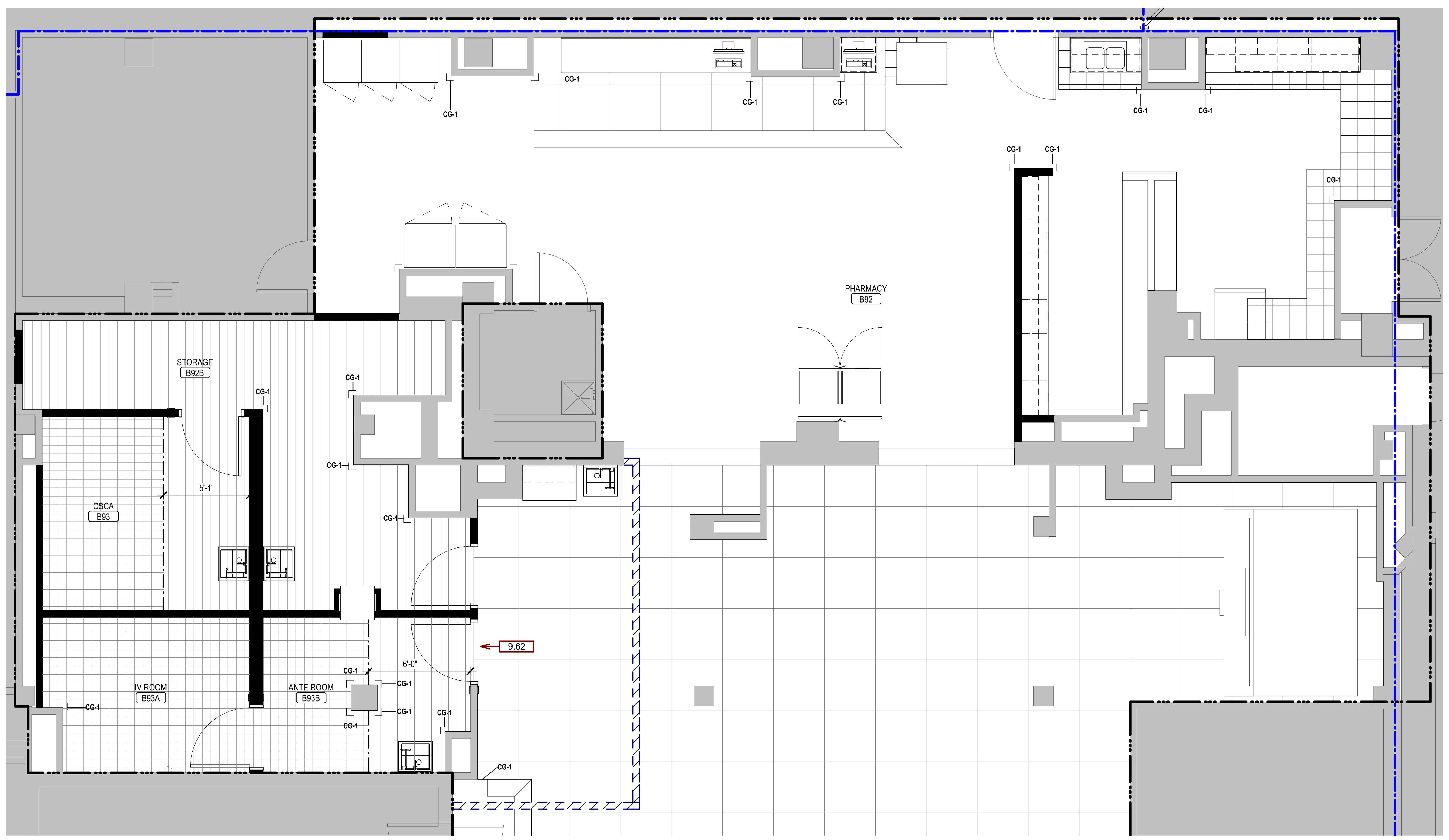
GENERAL FLOOR FINISH NOTES:

A. ANY DISCREPANCIES OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER BEFORE PROCEEDING WITH THE WORK.
B. FINISH SCHEDULES DENOTE FINISHES THROUGHOUT THE PROJECT. FOR LOCATIONS REFER TO THE FINISH FLOOR PLAN, ROOM FINISH SCHEDULES, REFLECTED CEILING PLANS, AND INTERIOR ELEVATIONS.
C. SOME SPECIFIED PRODUCTS AND FINISHES MAY HAVE SUBSTANTIAL LEAD TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLACING ORDERS IN A MANNER TO ENSURE THEIR TIMELY ARRIVAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXPENSES, INCLUDING DESIGN FEES, RELATED TO ANY RESELECTIONS REQUIRED DUE TO FAILURE TO ORDER PRODUCTS IN A TIMELY MANNER.
D. ALL FINISH WORK SHALL BE PERFORMED IN COMPLIANCE WITH DRAWINGS AND SPECIFICATIONS. SHOP DRAWINGS, SAMPLES AND PRODUCT DATA SHALL BE SUBMITTED TO THE ARCHITECT FOR THEIR REVIEW PRIOR TO BEGINNING WORK.
E. WOOD DOORS, FRAME BASE MOLDINGS TO BE FILLED, STAINED, SEALED AND SHOP FINISHED TO MATCH ARCHITECTS SAMPLE. WORK SHOULD BE PREFORMED IN A DUST FREE ENVIRONMENT.
F. ALL HOLLOW METAL DOOR FRAMES TO BE PAINTED PT-2. (UON)
G. EXTEND ALL FLOORING UNDER FURNITURE, DESKS, COUNTERS ADN ETC. (UON)
H. PROVIDE TRANSITION STRIPS AT ALL LOCATIONS THAT HAVE A CHANGE IN FLOORING MATERIALS. REFER TO TYPICAL TRANSITION STRIP DETAILS FOR APPROVED TRANSITION STRIPS. ALL TRANSITIONS TO BE CENTERED UNDER DOORS IN A CLOSED POSITION, (UON). CONTRACTOR IS RESPONSIBLE FOR VERIFYING APPROPRIATE SIZES OF TRANSITION STRIPS BASED ON MATERIAL TYPES.
I. ALL SCHLUTER TRANSITION STRIPS TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
J. VERIFY GROUT AND MORTAR THICKNESS PER MANUFACTURER'S RECOMMENDATIONS.
K. FLOOR FINISH LEGEND HATCHES INDICATE FLOORING TYPES, NOT ACTUAL FLOORING PATTERN AND LAYOUT. (UON)
L. FOR FLOOR PATTERN INSTALL DIRECTION REFER TO THE INSTALLATION SYMBOL.
M. CORNER GUARDS TO BE SUPPLIED AND INSTALLED BY CONTRACTOR.
N. IF EXISTING CORNER GUARDS ARE DAMAGED DURING CONSTRUCTION, REPLACE WITH NEW CORNER GUARDS.
O. VERIFY ALL CORNER GUARD HEIGHTS. INSTALL CORNER GUARDS AT ALL EXPOSED OUTSIDE CORNERS OF GYPSUM BOARD WALLS. (UON)
P. METAL L-BRACKETS TO BE PAINTED TO MATCH WALL COLOR.
Q. CONTRACTOR IS TO PROTECT THE EXISTING FLOORING IN ROOM B92 AND PATCH AND SEAL AS REQUIRED TO MATCH EXISTING.

GENERAL CASEWORK NOTES:

A. ANY DISCREPANCIES OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER BEFORE PROCEEDING WITH THE WORK.
B. COORDINATE DEVICE PENETRATIONS AT COUNTERTOPS W/ MECHANICAL & ELECTRICAL.
C. PROVIDE COUNTERTOP SUPPORTS AT ALL OPEN SPACES APPROXIMATELY 3'-0" O.C. BRACKETS TO BE PAINTED TO MATCH SPECIFIED WALL FINISH.
D. PROVIDE FINISHED END PANELS AT ALL EXPOSED MILLWORK SURFACES. ALL PLAM CABINETS TO HAVE PVC EDGES. MATCH PVC EDGE TO PLAM. SUBMIT SAMPLES FOR APPROVAL.
E. PROVIDE 4" RESILIENT BASE AT ALL BASE CABINETS (UON).
F. MILLWORK SUPPLIER SHALL PROVIDE FILLER PANELS & SCRIBE STRIPS WHERE NEEDED FOR COMPLETE INSTALLATION.
G. CABINETS OVER 30" WIDE SHALL HAVE 1" THICK PARTICLE BOARD CORE.
H. DO NOT PROVIDE SIDESPLASH UNLESS OTHERWISE NOTED.
I. UNLESS OTHERWISE INDICATED, PROVIDE PRODUCTS OF QUALITY SPECIFIED BY AWI ARCHITECTURAL WOODWORK QUALITY STANDARDS FOR PREMIUM GRADE.
J. INSTALL BLOCKING AS REQUIRED IN ALL PARTITIONS TO RECEIVE COUNTERS, SHELVING, MARKERBOARDS, ETC.
K. VERIFY ALL GROMMET LOCATIONS AND COUNT WITH OWNER.
L. PROVIDE STAINLESS STEEL (18" PER SIDE) BEHIND HOOD. REFER TO DRAWINGS FOR LOCATIONS.
M. FINISHES SCHEDULE PROVIDED BY OWNER
N. ALL OWNER FURNISHED EQUIPMENT TO BE CONTRACTOR INSTALLED WITH ---- PRIOR TO INSTALL.



F1 ENLARGED FINISH PLAN
1/4" = 1'-0"
NORTH

COLOR AND MATERIAL SCHEDULE

ABBR	Material	Manufacturer	Style Number	Style Name	Color Number	Color Name	Size	Texture	Installation Notes	Location	Finish
06 4100 - ARCHITECTURAL WOOD CASEWORK											
PLAM-1	Plastic Laminate	Formica			8826	Neutral Twill		Matte		Casework	
06 6100 - SIMULATED STONE FABRICATIONS											
SS-1	Solid Surface	LG Hi-Macs			M 552	Shadow Concrete	1.25"			Countertops	
SS-2	Solid Surface	LG Hi-Macs			M 322	Shadow Concrete	5/8"			Countertops	
08 1416 - FLUSH WOOD DOORS											
WDR-1	Impact Resistant Doors	Acrovyn	SCL5-NR		1352	Fossil Teak			Match existing size to current frame; use existing hardware		
09 5100 - ACOUSTICAL CEILINGS											
ACT-1	Accoustical Ceiling Tile	Armstrong		Cortega, 15/16" Square Edge	704	White	24" x 24"			See RCP sheets.	
09 6500 - RESILIENT FLOORING											
CB-1	Cove Base	Inpro		Use the appropriate style for specified flooring	304	Stainless Steel	6 1/8"			Rooms requiring integral wall base and watertight finish	
RF-1	Rubber Flooring	Flexco		Evolving Styles Creative Elements	CE-125	Light Gray	Sheet, 3.2 mm	Smooth	Weld with recommended color match by manufacturer	Clean Space	
RF-2	Rubber Flooring	Flexco		Evolving Styles Creative Elements	CE-143	Charcoal With Black	Sheet, 3.2 mm		Weld with recommended color match by manufacturer	Dirty Space	
RF-3	Resilient Floor Transition	Johnsonite	CTA-XX	Rolling Traffic Transitions	32	Pebble	Installer to verify		Use where different flooring materials meet, and stainless steel cannot be installed		Rubber
TRIM-3	Metal Trim	Schluter Systems		Reno-U		Stainless Steel	Installer to verify		Sloped floor transitions		
TRIM-4	Metal Trim	Schluter Systems		Schiene		Stainless Steel	Installer to verify		Same height floor transitions		
TRIM-5	Metal Trim	Schluter Systems		Reno-Ramp-K		Satin Anodized Aluminum	Installer to verify				
09 9000 - PAINTING AND COATINGS											
P-1	Paint	Diamond Vogel		Zero Plus 0 VOC Interior Latex	0210	Hidden Cove				Main Paint Color	Semi-Gloss
P-2	Paint	Sherwin Williams	B66W 651	Pro Industrial	0218	DV Drifting Sand				Door Frames	Semi-Gloss
SC-1	Specialty Glazed Coatings	Sherwin Williams	B73W00311	Pro Industrial Water Based Epoxy	0210	Hidden Cove				Walls	Semi-Gloss
SC-2	Specialty Glazed Coatings	Sherwin Williams	B73W00311	Pro Industrial Water Based Epoxy	SW7007	Ceiling Bright				Ceilings	
10 2600 - WALL AND CORNER GUARDS											
CG-1	Corner Guards	Pawling	CG-51-8			Stainless Steel	2" W x .059" thick	#4 Satin	Install above wall base to ceiling	Corners as noted on the plans.	
RWP-1	Rigid Vinyl Wall Protection	Inpro	406	Palladium Rigid Vinyl Wall Protection	0119	Pepperdust	4' x 8' sheets; .060 thick	Velvet	Install using rigid sheet trim between panels and corners; top of RWP with RWP-2 horizontal top cap boards		
RWP-2	Horizontal Top Cap Board	Inpro	P-3DHTC2	Palladium 3-D Horizontal Top Cap Board	0119	Pepperdust	2' H x 8' L x 1/2" Thick		Top edge trim board at RWP-1	Parks & Rec	

ROOM FINISH SCHEDULE

ROOM NUMBER	ROOM NAME	FLOOR	BASE	WALLS NORTH	WALLS EAST	WALLS SOUTH	WALLS WEST	CEILING	ID FINISH REMARKS
B92	PHARMACY	--	--	P-1	P-1	P-1	P-1	ACT	EXISTING FLOORING. PATCH AS REQUIRED TO MATCH EXISTING
B92B	STORAGE	RF-2	CB-1	SC-1, RWP-1/RWP-2	SC-1, RWP-1/RWP-2	SC-1, RWP-1/RWP-2	SC-1, RWP-1/RWP-2	SC-2	
B93	CSCA	RF-1/RF-2	CB-1	SC-1	SC-1	SC-1	SC-1	SC-2	SEE FINISH PLAN
B93A	IV ROOM	RF-1	CB-1	SC-1	SC-1	SC-1	SC-1	SC-2	
B93B	ANTE ROOM	RF-1/RF-2	CB-1	SC-1	SC-1	SC-1	SC-1	SC-2	SEE FINISH PLAN

ABBREVIATIONS

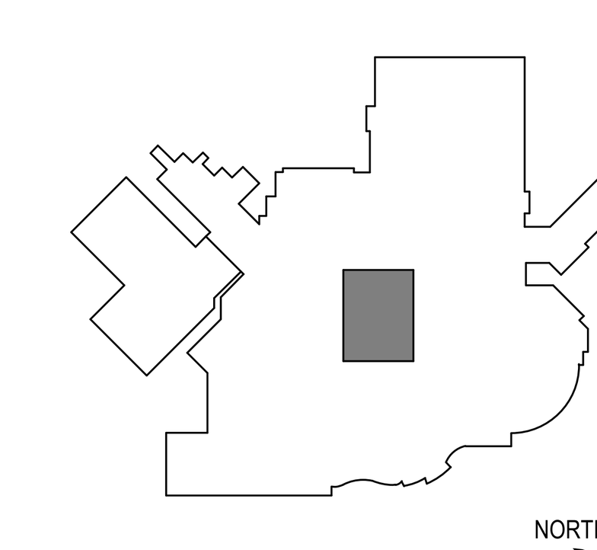
PT. G.W.B. = PAINT GYPSUM WALLBOARD
ACT - # = SUSPENDED ACT CEILING SYSTEM
G.W.B. = GYPSUM WALLBOARD
VWC = VINYL WALL COVERING
RF = RUBBER FLOORING
VB = VINYL BASE
VCT = VINYL COMPOSITE TILE

NOTES

1. G.W.B. CONTROL JOINTS SHALL BE INSTALLED PER THE LATEST EDITION OF GA-216 AND ASTM C840 UNLESS NOTED OTHERWISE.
2. JOINTS IN FLOORING TILE SHOULD MATCH UP WITH JOINTS IN CONC. SLABS AND ADDITIONAL JOINTS TO BE CUT IF NECESSARY, VERIFY WITH ARCHITECT.
3. CORNER GUARDS AT ALL OUTSIDE CORNERS IN PUBLIC SPACES, TYP. (SEE COLOR & MATERIAL SCHEDULE)
4. SEE FLOOR COVERING PLANS FOR FLOOR PATTERNS.
5. ALL INTERIOR G.W.B. WALLS AND CEILINGS SHALL RECEIVE A LEVEL 3 FINISH WITH LIGHT ORANGE PEEL TEXTURE U.N.O.
6. FLOOR MATERIAL TRANSITIONS SHALL OCCUR @ CENTER OF DOOR, TYP.
7. SEE INTERIOR SIGNAGE DETAIL FOR SIGNAGE LOCATION.

FINISH PLAN LEGEND

- RUBBER FLOORING - CLEAN (RF-1)
- RUBBER FLOORING - DIRTY (RF-2)
- OWNER FURNISHED, CONTRACTOR INSTALLED (OFCI)
- CORNER GUARD (CG-1)



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Office of Construction and Facilities Management
VA U.S. Department of Veterans Affairs

Drawing Title: FINISH PLAN AND SCHEDULE
Approved:
Phase: BID SET
Project Title: UPGRADE PHARMACY 797
Project Number: VA #438-20-109 SGA #201927
Building Number: 5
Location: SIOUX FALLS, SOUTH DAKOTA
Issue Date: 02/10/2021
Checked: TRS
Drawn: DAN
Drawing Number: AF101

VA FORM 08 - 6231

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MECHANICAL ABBREVIATIONS

AD	AREA DRAIN	ISO	ISOLATION EXHAUST
A.F.F.	ABOVE FINISHED FLOOR	KW	KILOWATT
AFMS	AIR FLOW MEASURING STATION	LAT	LEAVING AIR TEMPERATURE
AHU	AIR HANDLING UNIT	LAV	LAVATORY
ANB	ACID NEUTRALIZING BASIN	LWT	LEAVING WATER TEMPERATURE
AP	ACCESS PANEL	MBH	BTU PER HOUR (THOUSANDS)
ARCH	ARCHITECT	MCF	THOUSAND CUBIC FEET
AS	AIR SEPARATOR	MH	MANHOLE
BD	BUTTERFLY DAMPER	NC	NOISE CRITERIA OR NORMALLY CLOSED
B/G	BELOW GRADE		
BTU	BRITISH THERMAL UNIT	NEG	NEGATIVE
BWV	BACKWATER VALVE	NIC	NOT IN CONTRACT
CCF	HUNDRED CUBIC FEET	NO	NORMALLY OPEN
CFH	CUBIC FEET PER HOUR	NTS	NOT TO SCALE
CFM	CUBIC FEET PER MINUTE	OA	OUTSIDE AIR
CL	CENTER LINE	OBD	OPPOSED BLADE DAMPER
CLG	CEILING	ORD	OVERFLOW ROOF DRAIN
CO	CLEAN OUT	PD	PRESSURE DROP OR DIFFERENCE
CONTR	CONTRACTOR	PE	PNEUMATIC-ELECTRIC
CONV	CONVECTOR	PLBG	PLUMBING
CUH	CABINET UNIT HEATER	PRV	PRESSURE REDUCING VALVE OR POWER ROOF VENTILATOR
CW	COLD WATER		
DB	DECIBEL	PSIA	POUNDS/SQ INCH ABSOLUTE
DF	DRINKING FOUNTAIN	PSIG	POUNDS/SQ INCH GAUGE
DIA	DIAMETER	PVC	POLY VINYL CHLORIDE
DIFF	DIFFUSER	RA	RETURN AIR
DISCH	DISCHARGE	RCP	REINFORCED CONCRETE PIPE
DMPR	DAMPER	RD	ROOF DRAIN
DN	DOWN	RECIRC	RECIRCULATING
DR	DRAIN	REG	REGISTER
DS	DOWNSPOUT	RET	RETURN
DWG	DRAWING	RH	RELATIVE HUMIDITY
EAT	ENTERING AIR TEMPERATURE	RHT	REHEAT
EDR	EQUIVALENT DIRECT RADIATION	RHC	REHEAT COIL
EP	ELECTRIC-PNEUMATIC	RHW	RECIRCULATED HOT WATER
EWC	ELECTRIC WATER COOLER	RLF	RELIEF
EWT	ENTERING WATER TEMPERATURE	RM	ROOM
EXH	EXHAUST	RPM	REVOLUTIONS PER MINUTE
EXP	EXPANSION	RPZ	REDUCED ZONE BACKFLOW PREVENTER
F	FAHRENHEIT		
FC	FAN COIL	SA	SUPPLY AIR
FCO	FLOOR CLEAN OUT	SAN	SANITARY
FD	FLOOR DRAIN	SCFM	CFM, STANDARD CONDITIONS
FHC	FIRE HOSE CABINET	SD	SMOKE DAMPER
FHR	FIRE HOSE RACK	SP	STATIC PRESSURE
FLR	FLOOR	SPECS	SPECIFICATIONS
FLEX	FLEXIBLE	SUP	SUPPLY
FM	FIRE MAIN	SQ	SQUARE
FPM	FEET PER MINUTE	STM	STEAM
FPS	FEET PER SECOND	TD	TEMPERATURE DIFFERENCE
FT	FEET OR FOOT	TEMP	TEMPERATURE
F&T	FLOAT AND THERMOSTATIC	TONS	TONS OF REFRIGERATION
FTG	FOOTING	T-STAT	THERMOSTAT
FTR	FINNED TUBE RADIATION	TYP	TYPICAL
FV	FACE VELOCITY	UB	UP-BLAST
GA	GAUGE	UG	UNDERGROUND
GAL	GALLON	UH	UNIT HEATER
GEXH	GREASE EXHAUST	UR	URINAL
GPH	GALLONS PER HOUR	V	SANITARY VENT
GPM	GALLONS PER MINUTE	VAV	VARIABLE AIR VOLUME
GR	GRILLE	VD	VOLUME DAMPER
HB	HOSE BIBB	VEL	VELOCITY
HD	HEAD	VFD	VARIABLE FREQUENCY DRIVE
HOA	HANDS-OFF-AUTOMATIC	VOL	VOLUME
HTG	HEATING	VTR	VENT THROUGH ROOF
HTR	HEATER	W	SANITARY WASTE
HVAC	HEATING, VENTILATION, AND AIR CONDITIONING	W/	WITH
		W/0	WITHOUT
HYD	HYDRANT	WC	WATER CLOSET
HW	HOT WATER	WCO	WALL CLEANOUT
GCO	GRADE CLEANOUT	WH	WALL HYDRANT
INSUL	INSULATION	WTR	WATER
INV	INVERT		

MECHANICAL SYMBOLS LEGEND

PLUMBING

- AV — ACID VENT BELOW GRADE
- AV — ACID VENT ABOVE GRADE
- AW — ACID WASTE BELOW GRADE
- AW — ACID WASTE ABOVE GRADE
- DI — DEIONIZED WATER
- CW — DOMESTIC COLD WATER
- CWV — CLEAR WATER VENT
- CWW — CLEAR WATER WASTE
- FW — FILTERED WATER
- GW — GREASE WASTE
- HW — DOMESTIC HOT WATER
- 140 — DOMESTIC HOT WATER (TEMP. INDICATED)
- 140 RHW — DOM. RECIRC. HOT WATER (TEMP. INDICATED)
- RHW — DOMESTIC RECIRC. HOT WATER
- HARD — HARD COLD WATER
- NPCW — NON-POTABLE COLD WATER
- NPHW — NON-POTABLE HOT WATER
- OSD — OVERFLOW STORM DRAIN BELOW GRADE
- OSD — OVERFLOW STORM DRAIN ABOVE GRADE
- RO — REVERSE OSMOSIS WATER
- V — SANITARY VENT BELOW GRADE
- V — SANITARY VENT ABOVE GRADE
- W — SANITARY WASTE
- SS — SANITARY SEWER
- SDT — SOIL DRAINAGE TILE
- SOFT — SOFTENED COLD WATER
- SHW — SOFTENED HOT WATER
- TW — TEMPERED WATER
- SD — STORM DRAIN BELOW GRADE
- SD — STORM DRAIN ABOVE GRADE
- WW — WELL WATER
- EXISTING PLUMBING TO REMAIN
- EXISTING PLUMBING TO BE REMOVED

MECHANICAL PIPING

- BF — BOILER FEED
- CWS — CHILLED WATER SUPPLY
- CWR — CHILLED WATER RETURN
- 10#A — COMPRESSED AIR (PSI INDICATED)
- CD — CONDENSATE DRAIN
- CS — CONDENSER WATER SUPPLY
- CR — CONDENSER WATER RETURN
- FOS — FUEL OIL SUPPLY
- FOR — FUEL OIL RETURN
- FOV — FUEL OIL VENT
- FOF — FUEL OIL FILL
- GS — GLYCOL SUPPLY
- GR — GLYCOL RETURN
- HRS — HEAT RECOVERY SUPPLY
- HRR — HEAT RECOVERY RETURN
- HWS — HEATING WATER SUPPLY
- HWR — HEATING WATER RETURN
- IG — INTERRUPTIBLE GAS
- LV — LABORATORY VACUUM
- LA — LABORATORY AIR
- LPG — LIQUIFIED PETROLEUM GAS
- 2#G — NATURAL GAS (PSI INDICATED)
- PV — PLANT VACUUM
- PC — PUMPED CONDENSATE
- RADS — RADIATION WATER SUPPLY
- RADR — RADIATION WATER RETURN
- RL — REFRIGERANT LIQUID
- RS — REFRIGERANT SUCTION
- RHG — REFRIGERANT HOT GAS BYPASS
- RHS — REHEAT WATER SUPPLY
- RHR — REHEAT WATER RETURN
- RRS — REMOTE RADIATOR SUPPLY
- RRR — REMOTE RADIATOR RETURN
- SHWS — SECONDARY HEATING WATER SUPPLY
- SHWR — SECONDARY HEATING WATER RETURN
- SMS — SNOW MELT SUPPLY
- SMR — SNOW MELT RETURN
- 10#STM — STEAM SUPPLY (PSI INDICATED)
- 10#R — STEAM RETURN (PSI INDICATED)
- EXISTING PIPING TO REMAIN
- EXISTING PIPING TO BE REMOVED

PLUMBING /PIPING

- ELBOW DOWN
- PIPE CAP
- ELBOW UP
- TEE, OUTLET UP
- TEE, OUTLET DOWN
- CONNECTION, BOTTOM
- CONNECTION, TOP
- ECCENTRIC REDUCER
- CONCENTRIC REDUCER
- FLEXIBLE CONNECTION
- EXPANSION JOINT
- PIPE ANCHOR
- ALIGNMENT GUIDE
- CHECK VALVE
- SHUTOFF VALVE
- PLUG VALVE
- COMBINATION BALANCE VALVE AND FLOW METER
- STRAINER
- STRAINER W/BLOWDOWN CAP AND VALVE
- PRESSURE REDUCING VALVE (SETTING AS NOTED, PSI)
- AUTOMATIC CONTROL VALVE, 2-WAY
- AUTOMATIC CONTROL VALVE, 3-WAY
- AUTOMATIC AIR VENT MANUAL AIR VENT
- PRESSURE RELIEF/SAFETY VALVES(SETTING AS NOTED, PSI)
- DRAIN VALVE
- BALL VALVE
- BUTTERFLY VALVE
- DIAPHRAGM
- GLOBE ANGLE VALVE
- 0. S.& Y. VALVE
- REDUCED PRESSURE ZONE BACK FLOW PREVENTER
- SOLENOID VALVE
- FLOW LIMITING VALVE
- REFRIGERANT SIGHT GLASS
- GLOBE VALVE
- GAS PRESSURE REGULATOR VALVE
- BACKWATER VALVE
- REFRIGERANT DRYER
- FLOW DIRECTION
- FLOW DIRECTION W/PITCH
- DUPLEX STRAINER
- PIPE UNION
- PIPE FLANGE
- PUMP
- PRESSURE GAUGE W/PIGTAIL & PETCOCK
- THERMOMETER
- PRESSURE/TEMPERATURE TEST PORT
- STEAM TRAP (TYPE INDICATED)
- FLOW MEASURING STATION (FLOW INDICATED)
- FLOW SWITCH
- PRESSURE SWITCH
- SHOCK ABSORBER
- GAS COCK VALVE
- ELBOW
- TEE
- FLOOR DRAIN
- FLOOR SINK
- WALL HYDRANT
- HOSE BIBB
- CLEANOUT
- WALL CLEANOUT
- ROOF DRAIN
- DRAIN ABOVE
- CATCH BASIN
- MANHOLE

DUCTWORK

- SUPPLY AIR
- RETURN AIR
- EXHAUST AIR
- STANDARD BRANCH, NO SPLITTER - SUPPLY FLOW TO RIGHT - RETURN/EXHAUST FLOW TO LEFT
- BELLMOUTH WITH BALANCING DAMPER
- FLEXIBLE DUCT
- TURNING VANES
- FLEXIBLE CONNECTION
- MANUAL VOLUME DAMPER
- MOTORIZED DAMPER
- FIRE DAMPER & ACCESS PANEL (HORIZONTAL FD FDV VERTICAL)
- SMOKE DAMPER & ACCESS PANEL (HORIZONTAL SD SDV VERTICAL)
- COMBINATION FIRE/SMOKE DAMPER & ACCESS PANEL (HORIZONTAL FSD FSDV VERTICAL)
- SUPPLY GRILLE OR REGISTER
- RETURN OR EXHAUST GRILLE OR REGISTER
- SUPPLY DUCT UP, POSITIVE PRESSURE
- RETURN DUCT UP, NEGATIVE PRESSURE
- EXHAUST DUCT UP, NEGATIVE PRESSURE
- SUPPLY DUCT DN, POSITIVE PRESSURE
- RETURN DUCT DN, NEGATIVE PRESSURE
- EXHAUST DUCT DN, NEGATIVE PRESSURE
- SUPPLY DIFFUSER/REGISTER BLANKOFF INDICATED
- RETURN GRILLE/REGISTER
- EXHAUST GRILLE/REGISTER
- LINEAR DIFFUSER
- CONCENTRIC DUCT TRANSITION
- ECCENTRIC DUCT TRANSITION
- RECTANGULAR-TO-ROUND DUCT TRANSITION
- VAV BOX
- VAV BOX W/REHEAT COIL
- REHEAT COIL
- DUCT OFFSETS (RISE / DROP)
- DUCT CUTLINE

CONTROLS

- TAMPERPROOF THERMOSTAT
- ROOM PRESSURE MONITOR
- AQUA STAT
- T — THERMOSTAT W/GUARD
- CO — CARBON MONOXIDE SENSOR
- H — HUMIDISTAT OR R.H. SENSOR
- R — REFRIGERANT SENSOR
- SD — SMOKE DETECTOR
- TS — SPACE TEMPERATURE SENSOR
- SP — STATIC PRESSURE SENSOR
- T — THERMOSTAT
- CO2 — CARBON DIOXIDE SENSOR

ANNOTATION

- GRILLE, REGISTER, & DIFFUSER IDENTIFICATION (QUANTITY, TYPE, SIZE, CFM; e.g. (4)A 12"Ø 450)
- HYDRONIC FINNED TUBE RADIATION & RADIANT PANEL IDENTIFICATION (TYPE FTR/RP 01, ACTIVE ELEMENT LENGTH 6'-5", GPM 0.5)
- ELECTRIC BASEBOARD RADIATION IDENTIFICATION (TYPE EBR 01, ACTIVE ELEMENT LENGTH 6'-5")
- DETAIL NUMBER / SHEET NUMBER
- SECTION NUMBER / SHEET NUMBER
- EQUIP DESIGNATION / EQUIP NUMBER
- POINT OF CONNECTION, NEW TO EXISTING
- POINT OF DISCONNECTION

MEDICAL GAS

- MV — MEDICAL VACUUM
- WAGD — WASTE ANESTHETIC GAS DISPOSAL
- CO2 — CARBON DIOXIDE
- O — OXYGEN
- N — NITROGEN
- N2O — NITROUS OXIDE
- MA — MEDICAL AIR
- IA — INSTRUMENT AIR
- ZVB — ZONE VALVE BOX
- AAP — AREA ALARM PANEL
- MAP — MASTER ALARM PANEL
- CAP — COMBINATION AREA/MASTER ALARM PANEL

PROCESS AND LABORATORY

- LA — LABORATORY AIR
- LV — LABORATORY VACUUM
- CDA — CLEAN DRY AIR
- RO — REVERSE OSMOSIS
- DI — DEIONIZED WATER
- N — NITROGEN
- HV — HOUSE VACUUM
- PV — PLANT VACUUM
- AV — ACID VENT
- AW — ACID WASTE

FIRE PROTECTION

- F — FIRE PROTECTION
- DFP — FIRE PROTECTION (DRY SYSTEM)
- POST INDICATOR VALVE (PIV)
- FIRE HYDRANT WITH SHUTOFF VALVE
- FDVC — RECESSED FIRE DEPT CABINET
- FDVC — SURFACE MOUNTED FIRE DEPT CABINET
- FIRE PROTECTION RISER
- UPRIGHT SPRINKLER HEAD W/GUARD
- PENDANT SPRINKLER HEAD
- UPRIGHT SPRINKLER HEAD
- SIDEWALL SPRINKLER HEAD
- TS — BUTTERFLY VALVE W/TAMPER SWITCH
- DETECTOR CHECK W/BYPASS METER
- GRADE FIRE DEPT CONNECTION
- FLUSH FIRE DEPT CONNECTION
- FDV — FIRE DEPT VALVE W/CAP AND CHAIN
- TS — O.S. & Y. VALVE W/TAMPER SWITCH
- DRY PIPE VALVE
- PREACTION VALVE

MECHANICAL SHEET LIST

SHEET NUMBER	SHEET NAME
M000	MECHANICAL TITLE SHEET
FP101	GROUND LEVEL FIRE PROTECTION PLANS
PP101	GROUND LEVEL PLUMBING PLANS
PP500	PLUMBING RISERS
MDH101	GROUND LEVEL DEMOLITION HVAC PLAN
MDH111	FIRST LEVEL INTERSTITIAL/ROOF MECHANICAL DEMOLITION
MH101	GROUND LEVEL HVAC PLAN
MH111	FIRST LEVEL INTERSTITIAL/ROOF MECHANICAL PLANS
MDP101	GROUND LEVEL DEMOLITION PIPING PLAN
MP101	GROUND LEVEL PIPING PLAN
M500	MECHANICAL DETAILS
M501	MECHANICAL SEQUENCE OF OPERATIONS
M600	MECHANICAL/ELECTRICAL SCHEDULES

SHEET TOTAL: 13

KEYPLAN NTS — NORTH

Revision#	Description	Date:

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Office of Construction and Facilities Management

VA U.S. Department of Veterans Affairs

Drawing Title MECHANICAL TITLE SHEET	**Phase** BID SET	**Project Title** UPGRADE PHARMACY 797	**Project Number** VA #438-20-109 SGA #201927
			Building Number 5
Approved:		**Location** SIOUX FALLS, SOUTH DAKOTA	**Drawing Number** M000
		Issue Date 02/10/2021 / **Checked** JRG / **Drawn** TNH	

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three inches = one foot
one and one half inches = one foot
one inch = one foot
three quarters inch = one foot
one half inch = one foot
three eighths inch = one foot
one quarter inch = one foot
one eighth inch = one foot
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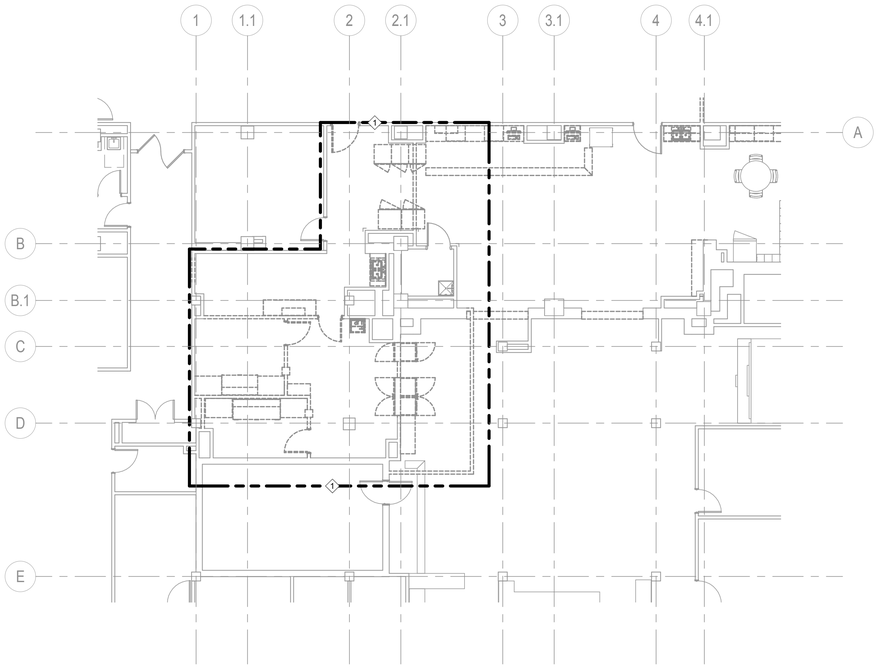
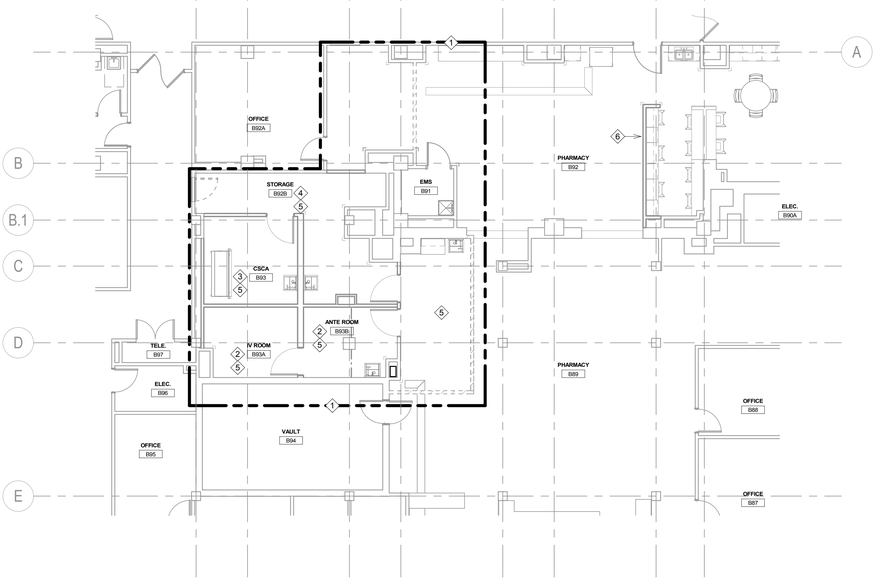


1 GROUND LEVEL DEMOLITION FIRE PROTECTION PLAN
1/8" = 1'-0"



2 GROUND LEVEL FIRE PROTECTION PLAN
1/8" = 1'-0"

GENERAL NOTES:

A. PROVIDE 175# PRESSURE RATED PIPING AND FITTINGS.

B. REVISE / REPLACE EXISTING FIRE SPRINKLER PIPING, SPRINKLER HEAD TYPES & LOCATIONS, AND SYSTEM ACCESSORIES AS REQUIRED TO ACCOMMODATE NEW FLOOR LAYOUT, CEILINGS, AND SYSTEM REQUIREMENTS. ALL AREAS OF CONSTRUCTION SHALL BE FULLY SPRINKLED.

C. THE FIRE SPRINKLER SYSTEM SHALL BE FABRICATED, INSTALLED AND TESTED IN ACCORDANCE WITH THE FOLLOWING CRITERIA:
1. REGULATIONS OF THE LOCAL FIRE PROTECTION AUTHORITIES.
2. REQUIREMENTS OF THE OWNER'S INSURANCE CARRIER.
3. NFPA STANDARDS, INCLUDING BUT NOT LIMITED TO, STANDARD NO. 13 - SPRINKLER SYSTEMS, AND NO. 241 - SAFEGUARDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATION.
4. THE CONSTRUCTION DOCUMENTS.

D. THE REMODELED AREAS SHALL BE PROVIDED WITH AN AUTOMATIC WET FIRE SPRINKLER SYSTEM SIZED IN ACCORDANCE WITH THE APPLICABLE NFPA STANDARDS AND SHALL PROVIDE 100 PERCENT PROTECTION UNLESS INDICATED OTHERWISE.

E. SPRINKLER SYSTEM DESIGN CRITERIA:
1. LIGHT HAZARD OCCUPANCY - PATIENT CARE, EXAM ROOMS, ADMINISTRATIVE AREAS, AND PUBLIC AREAS.
2. ORDINARY HAZARD 1 - LABORATORIES, MECHANICAL EQUIPMENT ROOMS, TRANSFORMER ROOMS, ELECTRICAL SWITCHGEAR BOOMS, ELECTRICAL CLOSETS AND REPAIR SHOPS.
3. ORDINARY HAZARD 2 - STORAGE ROOMS, TRASH ROOMS, CLEAN AND SOILED LINEN ROOMS, STORAGE AREAS, FILE STORAGE AREAS.

F. AREAS OF SPECIAL DESIGN CONSIDERATION INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
1. QUICK RESPONSE SPRINKLERS SHALL BE INSTALLED IN ALL ROOMS.
2. SPRINKLERS SHALL BE INSTALLED IN ALL SPACES EXCEPT AS NOTED ON THE DRAWINGS.
3. SPRINKLERS SHALL BE LOCATED IN THE CENTER OF THE CEILING TILES.
4. SEE ARCHITECTURAL CEILING PLANS FOR SPECIFIC AESTHETIC CONSIDERATIONS FOR LOCATING SPRINKLERS. FINAL SPRINKLER LOCATIONS WILL BE COORDINATED DURING SUBMITTAL REVIEW.

G. SPRINKLER WORK INCLUDES THE DESIGN AND CONSTRUCTION NECESSARY TO PROVIDE A FULLY SPRINKLED LAYOUT. CONTRACTOR SHALL FIELD VERIFY THE ACCURACY OF THE SHOP DRAWINGS FOR EXISTING AREAS. CONTRACTOR SHALL OBTAIN A CURRENT HYDRANT FLOW TEST AND PERFORM HYDRAULIC CALCULATIONS, AND VERIFY EXACT LOCATION OF THE EXISTING OVERHEAD SYSTEM PRIOR TO DESIGN AND CONSTRUCTION.

H. SPRINKLER DESIGN DENSITIES / DEMAND CRITERIA NFPA 13, UNLESS OTHERWISE NOTED:
1. LIGHT HAZARD - 0.10 GPM / SQ.FT. OVER THE MOST REMOTE 1,500 SQ.FT.
2. ORDINARY HAZARD 1 - 0.15 GPM / SQ.FT. OVER THE MOST REMOTE 1,500 SQ.FT.
3. ORDINARY HAZARD 2 - 0.20 GPM / SQ.FT. OVER THE MOST REMOTE 1,500 SQ.FT.

I. OBTAIN CERTIFIED TEST RESULTS FOR THE RECORD OF ALL ACCEPTANCE TESTS AS REQUIRED BY NFPA 13 FOR THE INSTALLED SPRINKLER SYSTEM. THE TEST RESULTS SHALL BE REPORTED USING NFPA STANDARD FORMS.

J. SPRINKLER HEAD TYPES: PROVIDE QUICK RESPONSE, SEMI-RECESSED, PENDENT SPRINKLERS WITH CHROME ESCUTCHEON. SEE SPECIFICATION FOR ADDITIONAL INFORMATION.

K. CONTRACTOR SHALL PROVIDE APPROVED PENETRATION MATERIAL FOR FIRE RATED WALLS AS REQUIRED AND INSTALL FIREPROOFING MATERIALS AS REQUIRED.

L. CONTRACTOR SHALL PROVIDE PIPE SLEEVES AT ALL FLOOR AND STRUCTURAL WALL OPENINGS. PENETRATIONS THROUGH FLOORS SHALL INCLUDE A 1" WATERPROOFING LIP TO PREVENT WATER FROM PASSING FROM ONE LEVEL TO ANOTHER. ANNULAR SPACE SHALL BE FILLED PER SPECIFICATION.

M. SHOP DRAWINGS SHALL BE ROUTED TO ENGINEER ONLY AFTER ALL OTHER PARTIES HAVE REVIEWED AND STAMPED THEM.

N. FIRE WATCH DURING HOURS OR CONSTRUCTION WILL BE THE RESPONSIBILITY OF THIS CONTRACT. ALL REMAINING HOURS WHEN SUBCONTRACTORS ARE NOT ON SITE SHALL BE SCHEDULED WITH THE VA TO HAVE THEIR INTERNAL STAFF PROVIDE FIRE WATCH MONITORING AND DOCUMENTATION.

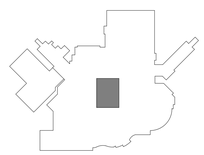
O. CONTRACTOR SHALL FIELD VERIFY THE ACCURACY OF THE SHOP DRAWINGS FOR EXISTING AREAS. CONTRACTOR SHALL OBTAIN A CURRENT HYDRANT FLOW TEST AND PERFORM HYDRAULIC CALCULATIONS, AND VERIFY EXACT LOCATION OF THE EXISTING OVERHEAD SYSTEM PRIOR TO DESIGN AND CONSTRUCTION.

P. CONTRACTOR SHALL PROVIDE TEMPORARY UPRIGHT SPRINKLER HEADS WITHIN CONSTRUCTION LIMITS TO MAINTIAN CONTINUAL SPRINKLER COVERAGE THROUGHOUT ALL PHASES OF CONSTRUCTION.

KEY NOTES:

1. PROPOSED AREA OF REMODEL OUTLINED BY DOUBLE DASHED LINE. RELOCATE/MODIFY EXISTING PIPING, FITTINGS AND SPRINKLER HEAD LOCATION AS NECESSARY TO PROVIDE COVERAGE IN REMODELED AREA PER NFPA 13. THE OWNER'S INSURANCE UNDERWRITER, AND THE AUTHORITY HAVING JURISDICTION. REVIEW AND COORDINATE LAYOUT OF FIRE PROTECTION SYSTEM WITH ARCHITECTURAL CEILING PLANS, LIGHTING, HVAC AND OTHER CEILING MOUNTED DEVICES. HEADS THAT ARE REMOVED SHALL BE CAPPED AT THEIR BRANCH CONNECTION. MODIFY SPRINKLER HEADS IN AREAS ADJACENT TO THE REMODEL AS REQUIRED TO PROVIDE NFPA 13 COMPLIANT COVERAGE DUE TO REVISED PARTITIONS. CONTRACTOR TO NOTE THAT EXISTING SPRINKLER HEADS ARE NOT TO BE REUSED, AND THAT ATTEMPTING TO MATCH SPRINKER REPSONSE AND TEMPERATURE RATING WITH EXISTING HEADS WILL NOT COMPLY WITH VA REQUIREMENTS. THEREFORE IF A HEAD REQUIRES REPLACEMENT, OR RELOCATION, WITHIN ANY SPACE THAN ALL SPRINKLER HEAD WITHIN THE ENCLOSED SPACE OF THAT ROOM/AREA SHALL BE REPLACED WITH NEW HEADS.
2. PROVIDE GASKETED, CLEANROOM TYPE CONCEALED SPRINKLER HEADS WITH WHITE COVER PLATE IN THIS ROOM. NOTE THAT THESE HEADS ARE NOT PERMITTED IN NEGATIVELY PRESSURIZED CLEANROOMS PER VA STANDARDS, SEE KEY NOTE #3 BELOW.
3. PROVIDE SEMI-RECESSED QUICK-RESPONSE HEAD, WITH PROTECTIVE CAGE (IF REQUESTED FOR CLEANING GAURD), INSIDE C-SCA AREA.
4. PROVIDE SEMI-RECESSSED QUICK-RESPONSE HEADS THROUGHOUT AREA INDICATED. DO NOT REUTILIZE EXISTING HEADS, AND REPLACE ALL OTHER HEADS WITHIN SPACE IMPACTED. ATTEMPTING TO MATCH ADJACENT EXISTING HEAD TEMPERATURE RATING AND RESPONSE TIME WILL NOT BE PERMITTED.
5. FIRE PROTECTION CONTRACTOR SHALL ASSUME THAT ALL SPRINKLER PIPING, BOTH MAINS AND BRANCHES, SHALL REQUIRE REMOVAL AND MODIFICATION ABOVE CLEANROOM AND C-SCA AREAS WHERE MOST INTENSIVE DUCTWORK MODIFICATIONS ARE OCCURING.
6. NEW WALL PARTITION WILL BE 18" BELOW CEILING TO AVOID INTERFERANCE WITH CURRENT FIRE SPRINKLER COVERAGE.

INTERIM LIFE SAFETY (FIRE WATCH): NOTE THAT CONTRACTOR WILL BE RESPONSIBLE FOR ALL FIRE WATCH ACTIVITIES DURING ANY FIRE SPRINKLER OUTAGE. COORDINATE ANY OUTAGE WITH VA REPRESENTATIVE IN ADVANCE TO ARRANGE FOR ISOLATION OF ZONE AND ASSISITANCE IN DRAINING SYSTEM. EXTENDED OUTAGE DURATIONS BEYOND 1-DAY WILL NEED APPROVAL FROM VA FACILITIES AND INTERIM LIFE SAFETY MEASURES APPLIED AS REQUIRED. AREAS IN CONSTRUCTION SHALL BE CONTINUALLY PROTECTED WITH TEMPORARY UPRIGHT SPRINKLER HEADS AND MODIFIED DURING CONSTRUCITON PHASES TO KEEP SPRINKLER COVERAGE ACTIVE THROUGHOUT ENTIRE CONSTRUCTION PROCESS.



KEYPLAN
NTS
NORTH

Revision#	Description	Date:

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Office of Construction and Facilities Management

VA U.S. Department of Veterans Affairs

Drawing Title: GROUND LEVEL FIRE PROTECTION PLANS	Phase: BID SET	Project Title: UPGRADE PHARMACY 797	Project Number: VA #438-20-109 SGA #201927
			Building Number: 5
Approved:		Location: SIOUX FALLS, SOUTH DAKOTA	Drawing Number: FP101
		Issue Date: 02/10/2021 / Checked: JRG / Drawn: TNH	

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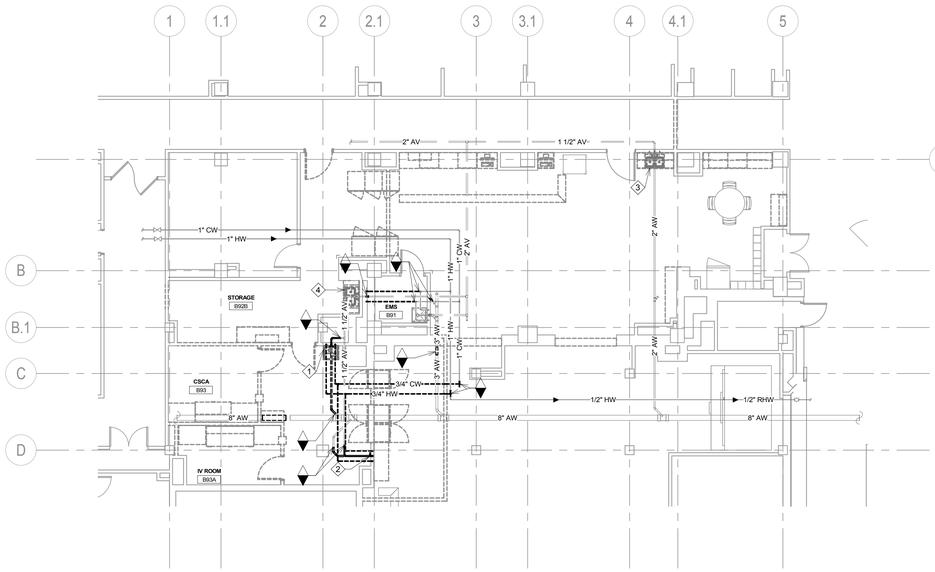
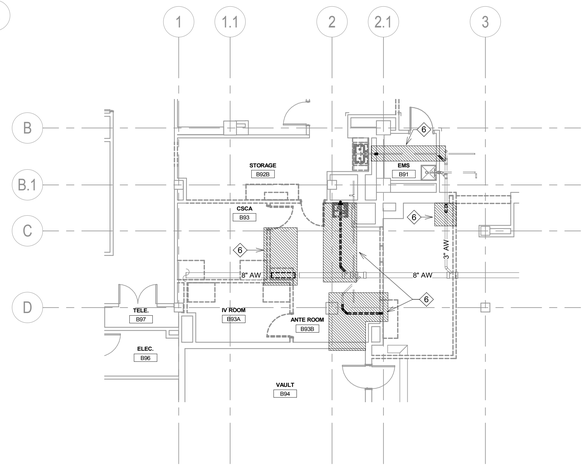
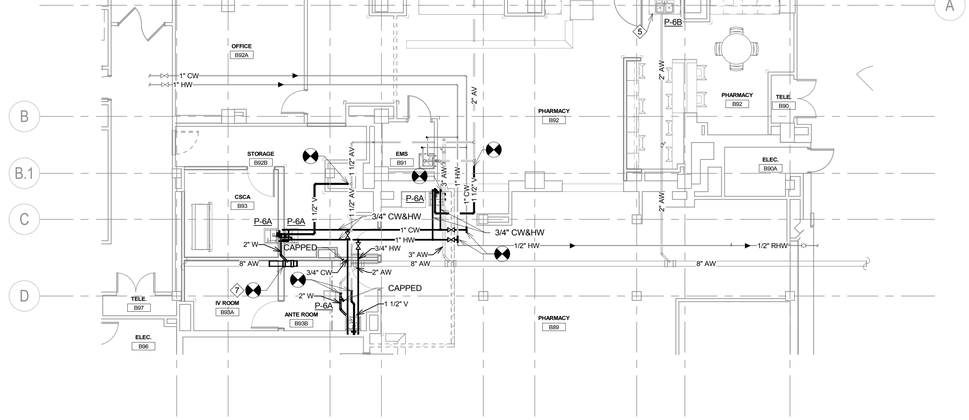


1 GROUND LEVEL DEMOLITION PLUMBING PLAN
1/8" = 1'-0"



3 GROUND LEVEL - SAWCUT AREAS
1/8" = 1'-0"



2 GROUND LEVEL PLUMBING PLAN
1/8" = 1'-0"

PLUMBING FIXTURE SCHEDULE

MECHANICAL (224200, 224223, 224300)

FIXTURE TAG	FIXTURE DESCRIPTION	MOUNTING	ADA	FIXTURE	TRIM	STOP	TRAP	CARRIER	WASTE (IN)	TRAP (IN)	VENT (IN)	CW (IN)	HW (IN)	RO (IN)	MECHANICAL NOTES
P-6A	SINGLE BOWL SINK	WALL	YES	JUST JPH-ADA-2224-CT PHARMACY SERIES, SINGLE STATION WASH-UP STATION WITH EMERGENCY EYEWASH , 16 GAUGE, TYPE 304 STAINLESS STEEL.	INTEGRAL JSL-46-AC, BACKSPLASH MOUNTED, 5-5/8" GOOSENECK SPOUT, 2.0 GPM LAMINAR FLOW OUTLET, POLISHED CHROME, BATTERY POWERED.	CHICAGO FAUSETS 1017-CSTABCP BRASS BALL VALVE POLISHED CHROME PLATED CAST BRASS ANGLE VALVE KITS, LOOSE KEY, FLEXIBLE RISERS, ESCUTCHEON.	INTEGRAL JT-150 P-TRAP, 1-1/2"x1-1/2" CAST BRASS CHROME PLATED 'P' TRAP, TREATED INSIDE & OUTSIDE WITH SANIGUARD; EXTEND TO WALL WITH ESCUTCHEON.	SUPPORT BRACKETS INCLUDED.	1-1/2	1-1/2	1-1/2	1/2	1/2	NA	INTEGRAL J-35-SSF-DRAIN, STAINLESS STEEL DRAIN BODY, STAINLESS STEEL FLAT GRID STRAINER AND 1-1/2" O.D. STAINLESS STEEL TAILPIESE 4" LONG. PROVIDE JTM-47 THERMOSTATIC MIXING VALVE AND JG1800 EYEWASH.
P-6B	DOUBLE BOWL SINK	COUNTER - DROP IN	NO	JUST DL-2128-A-GR, 18 GAUGE, TYPE 304 STAINLESS STEEL, 28" X 21" X 7-1/2" DEEP, 3 HOLE, UNDERCOATED.	CHICAGO FAUCETS 786-E29XKABCP, DECK MOUNTED, 5-1/4" RIGID/SWING GOOSENECK SPOUT, 8" CENTERS, WRISTBLADE HANDLES, CERAMIC CARTRIDGE, 2.2 GPM LAMINAR FLOW OUTLET, POLISHED CHROME.	CHICAGO FAUSETS 1017-CSTABCP BRASS BALL VALVE POLISHED CHROME PLATED CAST BRASS ANGLE VALVE KITS, LOOSE KEY, FLEXIBLE RISERS, ESCUTCHEON.	McGUIRE 1-1/2"x1-1/2" CAST BRASS CHROME PLATED 'P' TRAP, TREATED INSIDE & OUTSIDE WITH SANIGUARD; EXTEND TO WALL WITH ESCUTCHEON.	NA	1-1/2	1-1/2	1-1/2	1/2	1/2	NA	PROVIDE WATTS LFMMV MIXING VALVE. LOCATE BELOW SINK. PROVIDE McGUIRE CAST BRASS CHROME PLATED TAILPIECE & OPEN GRID STRAINER, ALL METAL PARTS TREATED INSIDE & OUTSIDE WITH SANIGUARD.

GENERAL NOTES:

A. CONTRACTOR SHALL REFER TO THE VA MASTER SPECIFICATION MANUAL EDITED FOR THIS PROJECT ALONG WITH ANY APPLICABLE STANDARDS WITHIN THE VA DESIGN GUIDES. ALL REQUIREMENTS OF THOSE MANUALS SHALL BE MAINTAINED IN ADDITION TO ALL NOTES AND DESCRIPTIONS INDICATED WITHIN THESE DRAWINGS. ANY CONFLICTS BETWEEN THE DOCUMENTS SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR INTERPRETATION.

B. CONTRACTOR WILL BE RESPONSIBLE TO REVIEW ACCESSIBILITY TO AREAS OUTSIDE THE CONSTRUCTION LIMITS TO DETERMINE APPROXIMATE AMOUNT OF OVERTIME REQUIRED TO PERFORM ALL MECHANICAL WORK INDICATED. COORDINATION OF SCHEDULES WITH ADJACENT DEPARTMENTS AND CLEANING OF ALL DEBRIS AFTER EACH WORK SHIFT SHOULD BE ASSUMED IN THE BASE BID SCOPE.

C. ANY MAJOR OUTAGES INDICATED ON THESE DRAWINGS SHALL BE SCHEDULED TO BE PERFORMED AFTER NORMAL BUSINESS HOURS OR DURING WEEKEND PERIODS TO MINIMIZE HOSPITAL DISRUPTION. VA HOSPITAL FACILITIES WILL REQUIRE A MINIMUM OF TWO (2) WEEKS NOTICE PRIOR TO ANY SUCH OUTAGE.

D. COORDINATE ALL NEW PLUMBING PIPING ROUTING WITH ALL OTHER TRADES TO ENSURE ADEQUATE CLEARANCES FOR ELECTRICAL CONDUIT, HVAC DUCTWORK & PIPING, STRUCTURAL SUPPORTS, ETC. ANY UNAVOIDABLE CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER OF RECORD. PROVIDE ALL OFFSETS & TRANSITIONS AS REQUIRED FOR A CLEAN INSTALLATION.

E. THE EXACT LOCATION OF EQUIPMENT ROUGH-INS SHALL BE VERIFIED WITH THE STAMPED APPROVED SHOP DRAWINGS PRIOR TO ANY FIELD INSTALLATION.

F. SUPPORT ALL PIPING DIRECTLY TO STRUCTURE. DO NOT SUPPORT ANY PIPING FROM DUCTWORK, CONDUIT OR OTHER PIPING ENCOUNTERED.

G. WHERE MECHANICAL SYSTEMS TO REMAIN ARE DAMAGED OR DISTURBED DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR WILL BE RESPONSIBLE TO REMOVE DAMAGED PORTIONS AND INSTALL NEW PRODUCTS OF EQUAL QUALITY AND FUNCTIONALITY.

H. ALL EXISTING PIPING THROUGH NEW FIRE RATED WALLS SHALL BE ADEQUATELY FIRE SEALED AS REQUIRED. PIPING PENETRATIONS THROUGH INTERSTITIAL FLOOR SHALL BE DRILLED OR CUT BY THE CONTRACTOR AND FIRE SEALED AS REQUIRED.

I. ALL CORE DRILLING OR ANY ACTIVITIES CAUSING EXTREME VIBRATION OR NOISE SHALL BE COORDINATED TO BE PERFORMED AFTER BUSINESS HOURS TO NOT AFFECT CRITICAL HOSPITAL FUNCTIONS WITHIN ADJACENT AREAS. COORDINATE WITH VA REPRESENTATIVE AS REQUIRED.

J. FIELD VERIFY EXISTING WATER, WASTE, VENT OR OTHER PIPING SYSTEMS FOR CONNECTIONS TO FIXTURES THAT MAY NOT BE IDENTIFIED ON PLANS PRIOR TO SERVICE OUTAGES, DEMOLITION OR ALTERATIONS OF EXISTING PIPE ROUTING. COORDINATE UNKNOWN SERVICE WITH FACILITIES AND ENGINEER OF RECORD.

K. CONTRACTOR SHALL MAINTAIN ACCURATE RECORD DRAWINGS SHOWING ALL DISCREPANCIES WITH ANY EXISTING PIPING INDICATED OR REVISIONS TO THE NEW PLUMBING OR FIRE PROTECTION LAYOUTS. ALL CHANGES WILL BE UPDATED WITHIN THE FINAL RECORD DRAWING SET.

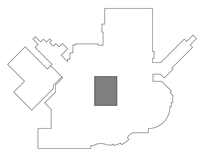
L. ALL CONTRACTORS TO REFERENCE THE INFECTION CONTROL NOTES IDENTIFIED WITHIN THE VENTILATION GENERAL NOTES ON THESE DRAWINGS. CONFORM TO ALL ICRA REQUIREMENTS.

M. THE PLUMBING CONTRACTOR SHALL PROVIDE ALL PIPING, FITTINGS, VALVES & ACCESSORIES AS REQUIRED FOR INSTALLATION OF OWNER PROVIDED EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS.

N. EXISTING WASTE PIPING SHOWN IS LOCATED BELOW GROUND LEVEL SLAB IN UNEXCAVATED EARTH.

KEY NOTES:

1. DEMOLISH SINK WITH EYEWASH AND ALL ASSOCIATED PIPING BACK TO POINT OF DISCONNECTION. CAP ALL PIPING AT MAINS. NO DEAD LEGS PERMITTED ON DOMESTIC WATER BRANCHES.
2. DEMOLISH FIXTURE ROUGH IN. DEMOLISH ALL THERMOSTATIC MIXING VALVE AND ASSOCIATED PIPING BACK TO POINT OF DISCONNECT. PROTECT 2" WASTE IN WALL FOR CONNECTION TO NEW. NO DEAD LEGS PERMITTED ON DOMESTIC WATER BRANCHES.
3. DEMOLISH SINK. PROTECT EXISTING ROUGH-IN FOR CONNECTION TO FIXTURE.
4. DEMOLISH SINK AND ALL ASSOCIATED PIPING BACK TO POINT OF DISCONNECTION. CAP ALL PIPING AT MAINS. NO DEAD LEGS PERMITTED ON DOMESTIC WATER BRANCHES.
5. INSTALL NEW FIXTURE. CONNECT TO EXISTING ROUGH-IN.
6. SAWCUT SLAB INDICATED BY HATCHED AREAS FOR REMOVAL/INSTALLATION OF WASTE PIPE SERVING PLUMBING FIXTURES. SCOPE PIPING TO DETERMINE EXACT LOCATION/DEPTH.
7. CONTRACTOR TO NOTE DEPTH, AND EXACT LOCATION, OF UNDERGROUND PIPING IS BASED ON DRAWINGS AND MAY REQUIRE SITE SCOPING OF EXISTING PIPING TO DETERMINE. FOR EXAMPLE, EXISTING 6" WASTE PIPING SHOWN MAY BE IN EXCESS OF 72" DEEP.



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Drawing Title: GROUND LEVEL PLUMBING PLANS	Phase: BID SET	Project Title: UPGRADE PHARMACY 797	Project Number: VA #438-20-109 SGA #201927
Approved:		Location: SIOUX FALLS, SOUTH DAKOTA	Building Number: 5
		Issue Date: 02/10/2021 / Checked: JRG / Drawn: TNH	Drawing Number: PP101

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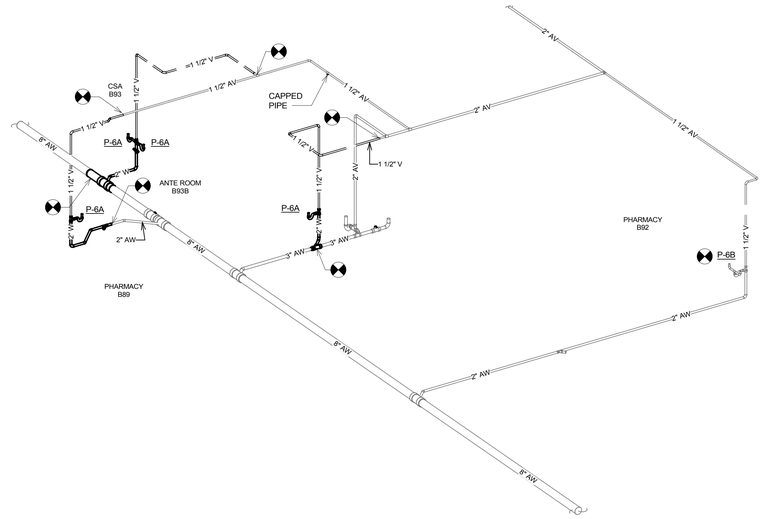
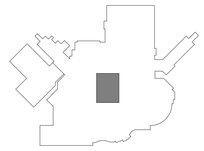


1 WASTE AND VENT RISER DIAGRAM

2 DOMESTIC WATER RISER DIAGRAM



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Drawing Title PLUMBING RISERS	**Phase** BID SET	**Project Title** UPGRADE PHARMACY 797	**Project Number** VA #438-20-109 SGA #201927
Approved:		**Location** SIOUX FALLS, SOUTH DAKOTA	**Building Number** 5
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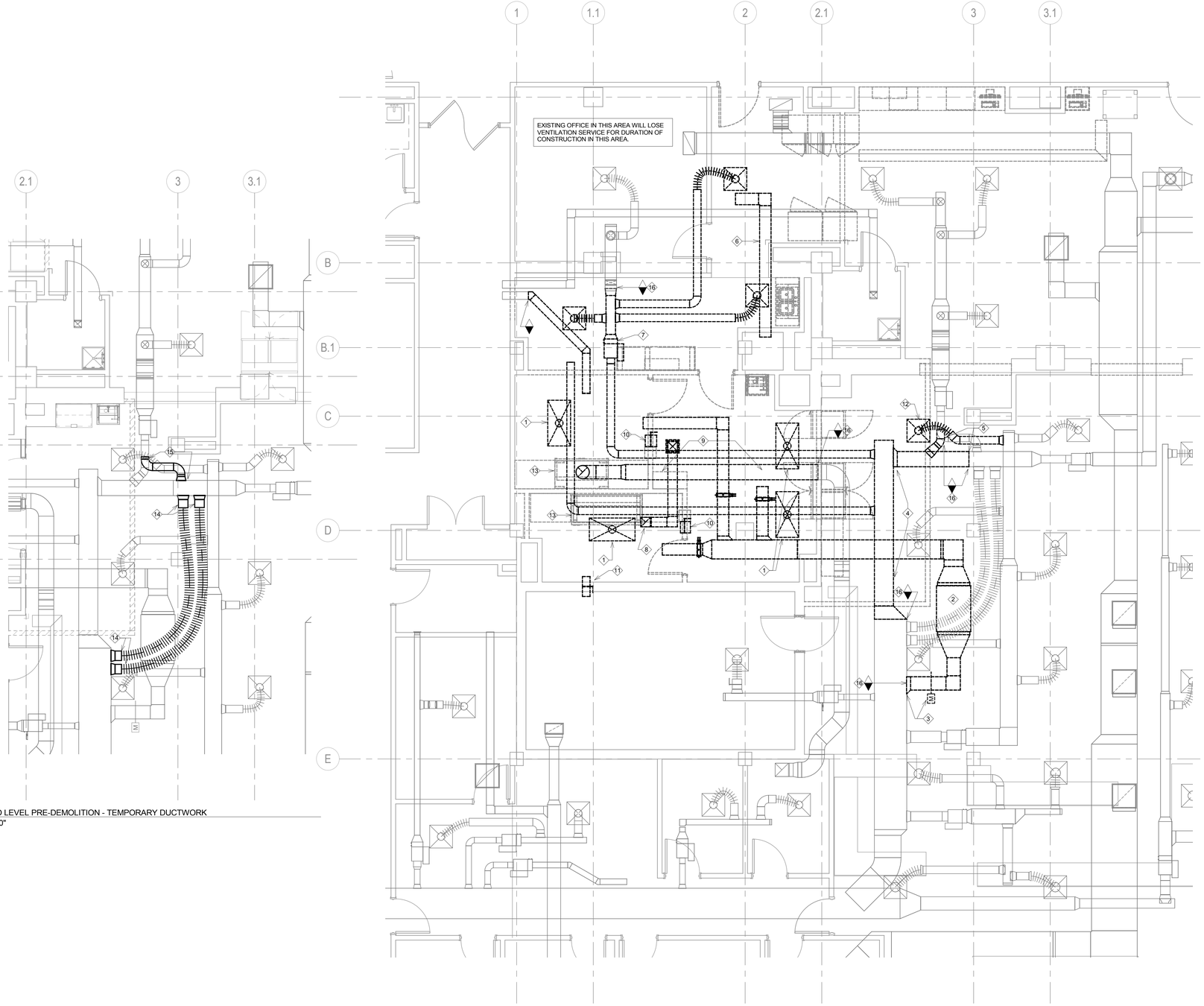


1 GROUND LEVEL DEMOLITION HVAC PLAN
1/4" = 1'-0"

3 GROUND LEVEL PRE-DEMOLITION - TEMPORARY DUCTWORK
1/4" = 1'-0"

KEY NOTES:

1. REMOVE EXISTING FAN FILTER UNIT ALONG WITH ALL POWER WIRING PER ELECTRICAL DRAWINGS. UPON VA REQUEST, TURN-OVER FILTER UNIT TO FACILITES FOR USE IN SALVAGING SPARE PARTS AND DISPOSE OF REMAINING UNIT AS REQUIRED.
2. REMOVE EXISTING FAN COIL AND ASSOCIATED 5-TON CHILLER ON ROOF. REFER TO ROOF AND PIPING DEMOLITION PLANS FOR CONTINUATION OF DEMOLITION. REFER TO ELECTRICAL PLANS FOR DISCONNECTION AND REMOVAL OF POWER CONNECTIONS. CONTROLS CONTRACTOR TO FULLY REMOVE ALL SENSORS, WIRING, AND ASSOCIATED BUILDING AUTOMATION PROGRAMMING.
3. DISCONNECT DUCT TAKE-OFF AND REMOVE EXISTING MOTORIZED DAMPER ASSEMBLY AND ALL CONTROL WIRING AND COMPONENTS. SEAL EXISTING SUPPLY DUCT MAIN AS REQUIRED FOR 3" PRESSURE CLASS AND REINSULATE OVER DAMAGED AREA CAUSED BY DEMOLITION.
4. DISCONNECT AND REMOVE END OF SUPPLY DUCT MAIN. PROVIDE TEMPORARY CAP WHILE DUCTWORK MODIFICATIONS ARE BEING INSTALLED IN THIS AREA. REFER TO KEY NOTE #5 BELOW FOR TEMPORARY CONNECTIONS REQUIRED TO EXISTING VAV BOXES.
5. PROVIDE TEMPORARY CONNECTIONS TO THE EXISTING VAV BOXES CUT OUT OF SERVICE DURING DUCTWORK DEMOLITION IN KEY NOTE #4 ABOVE. TEMPORARY CONNECTIONS MAY UTILIZE FLEXIBLE DUCTWORK TO BE ABLE TO SHIFT DURING CONSTRUCTION PHASING.
6. REMOVE SECTION OF ABANDONED DUCTWORK OBSERVED ABOVE CEILING. CONTRACTOR TO NOTE THAT THIS SHOULD BE CONSIDERED TYPICAL OF ANY ABANDONED DUCTWORK OR PIPING SERVICES ENCOUNTERED WITHIN DIRECT PROXIMITY OF AREAS THEY ARE WORKING INSIDE, REFER TO SPECIFICATION 230511.
7. REMOVE EXISTING VAV BOX, REFER TO PIPING PLANS FOR ASSOCIATED PIPING DEMOLITION.
8. REMOVE EXAUST DUCTWORK INDICATED COMPLETELY UP THROUGH ROOF ALONG WITH EXISTING FAN, SEE ROOF DEMOLITION PLANS. EXISTING ROOF PENETRATION MAY REMAIN TO BE MODIFIED FOR NEW EXHAUST DUCT PENETRATION, BUT SIZE MAY BE MODIFIED WITH NEW ROOF CURB.
9. REMOVE WELDED STAINLESS STEEL CHEMO EXHAUST TO POINT OF DISCONNECTION INDICATED. NOTE THAT FILM WITHIN THIS DUCT MAY BE CONSIDERED HAZARDOUS (POTENTIALLY CARCINOGEN) AND SHOULD BE SAFELY HANDLED WITH CAUTION.
10. REMOVE EXISTING TRANSFER DUCT AND DAMPER.
11. REMOVE EXISTING WALL SLEEVE AND DAMPER. EXISTING WALL PENETRATION SHOULD BE PATCHED AND SEALED AS REQUIRED.
12. SALVAGE AND CLEAN EXISTING DIFFUSER TO BE RELOCATED.
13. REMOVE EXISTING CHEMO HOOD, AND BIOSAFETY CABINET, TO BE DISPOSED OF PROPOERLY. NOTE THAT THESE HOODS MAY HAVE HAZARDAOUS MATERIALS, OR RESIDUE, WITHIN THEM AND SHOULD BE HANDLED WITH APPROPRIATE SAFETY PRECAUTIONS.
14. PRIOR TO DEMOLITION, CONNECT TWO(2) SETS OF 10" ROUND FLEXIBLE DUCT FROM SUPPLY MAIN INTO SECTION OF SUIPPLY AIR BRANCH DUCTWORK INDICATED TO TEMPORARILY FEED SUPPLY AIR TO VAV BOXES CUT OUT DURING CONSTRCTION. PERFORM PRE-DEMOLITION AIRFLOW READING ON BOTH AFFECTED VAV BOXES AND BALANCE BACK TO THOSE AIRFLOW AFTER TEMPORARY DUCTS ARE INSTALLED AND OPERATIONAL.
15. PRIOR TO DEMOLITION, PERMANENTLY RECONFIGURE VAV BOX INLET CONNECTION INTO SECTION OF BRANCH DUCTWORK TO REMAIN TEMPORARILY BACKFED AFTER DEMOLITION. REFER TO NOTE #14 ABOVE FOR VAV BOX AIRFLOW READINGS PRIOR TO ANY DEMOLITION TO MATCH ORIGINAL AIR BALANCE TO TEMPORARILY CONNECTED VAV BOX DURING CONSTRUCTION.
16. AT EACH POINT OF DISCONNECTION, THE CONTRACTOR SHALL CLEAN DUCTWORK AT LEAST 120" INTO EXISTING DUCT TO REMAIN (OR AS FAR/DEEP AS POSSIBLE WITHOUT REQUIRING ADDITIONAL ACCESS PANELS). CLEANING SHALL BE WITH AN AGITATING BRUSH AND VACUUM TO REMOVE ALL DUST AND DEBRIS FROM WITHIN EXISTING DUCTWORK. ALLOW VA FACILITIES AN OPPORTUNITY TO INSPECT ON COMPLETION OF CLEANING EFFORTS.

GENERAL NOTES:

A. MECHANICAL CONTRACTOR SHALL REFER TO THE VA MASTER SPECIFICATION MANUAL EDITED FOR THIS PROJECT ALONG WITH ANY APPLICABLE STANDARDS WITHIN THE VA DESIGN GUIDE. ALL REQUIREMENTS OF THOSE MANUALS SHALL BE MAINTAINED IN ADDITION TO ALL NOTES AND DESCRIPTIONS INDICATED WITHIN THESE DRAWINGS. ANY CONFLICTS BETWEEN THOSE DOCUMENTS SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR INTERPRETATION.

B. MECHANICAL CONTRACTOR WILL BE RESPONSIBLE TO REVIEW ACCESSIBILITY TO AREAS OUTSIDE THE CONSTRUCTION LIMITS TO DETERMINE APPROXIMATE AMOUNT OF OVERTIME REQUIRED TO PERFORM ALL MECHANICAL WORK INDICATED. COORDINATION OF SCHEDULES WITH ADJACENT DEPARTMENTS AND CLEANING OF ALL DEBRIS AFTER EACH WORK SHIFT SHOULD BE ASSUMED IN THE BASE BID.

C. ANY MAJOR VENTILATION OUTAGES INDICATED ON THESE DRAWINGS SHALL BE SCHEDULED TO BE PERFORMED AFTER NORMAL BUSINESS HOURS OR DURING WEEKEND PERIODS TO MINIMIZE DISRUPTION. VA HOSPITAL FACILITIES WILL REQUIRE A MINIMUM OF TWO(2) WEEKS NOTICE PRIOR TO ANY SUCH OUTAGE AFFECTING MORE THAN ONE ADJACENT AREA.

D. WHERE MECHANICAL SYSTEMS TO REMAIN ARE DAMAGED, OR DISTURBED, DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR WILL BE RESPONSIBLE TO REMOVE DAMAGED PORTIONS AND INSTALL NEW PRODUCTS OF EQUAL QUALITY AND FUNCTIONALITY.

E. ALL EXISTING DUCTWORK AND PIPING THROUGH NEW FIRE RATED WALLS SHALL BE ADEQUATELY FIRE SEALED AS REQUIRED. PIPING PENETRATIONS THROUGH INTERSTITIAL FLOOR SHALL BE DRILLED, OR CUT, BY THE CONTRACTOR AND FIRE SEALED AS REQUIRED.

F. THE EXACT LOCATION OF EQUIPMENT ROUGH-INS SHALL BE VERIFIED WITH THE STAMPED APPROVED SHOP DRAWINGS PRIOR TO ANY FIELD INSTALLATION.

G. THE MECHANICAL CONTRACTOR WILL BE RESPONSIBLE TO MAINTAIN EACH PROJECT SPACE IN A NEGATIVE PRESSURIZATION AND PROVIDE HEPA FILTRATION UNITS AS REQUIRED BY INFECTION CONTROL. IF NECESSARY CONSULT WITH VA, OR ENGINEER OF RECORD, FOR SUGGESTED METHODS THAT MAY BE UTILIZED TO ELIMINATE CONTAMINATED AIR TO OUTSIDE. VISUAL PRESSURIZATION INDICATORS SHALL BE PROVIDED AT EACH ENTRANCE TO THE CONSTRUCTION ZONE AND MONITORED DAILY TO INSURE A CONSTANT NEGATIVE PRESSURE IS MAINTAINED THROUGHOUT EACH PHASE. COORDINATE PRESSURIZATION PLANNING WITH VA FACILITIES AND INFECTION CONTROL REPRESENTATIVE PRIOR TO EACH CONSTRUCTION PHASE.

H. ALL EXISTING RETURN/EXHAUST DUCTWORK NOT TEMPORARILY CAPPED SHALL BE PROTECTED WITH REMOVABLE FILTER MEDIA TO PROTECT EXISTING DUCT SYSTEMS FROM CONSTRUCTION DEBRIS. ALL NEW DUCTWORK SHALL BE PROTECTED AS REQUIRED AND CLEANED PRIOR TO START-UP. IF CONSTRUCTION DEBRIS IS FOUND INSIDE UNPROTECTED DUCTWORK THAN DUCT CLEANING OF THE ENTIRE SYSTEM SHALL BE PERFORMED AT THE CONTRACTOR'S EXPENSE.

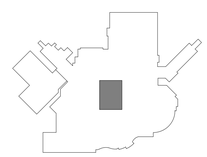
I. ALL WORK OUTSIDE THE PROTECTED PROJECT BOUNDARIES ABOVE EXISTING CEILING SHALL BE COMPLETED WITH CEILINGS REPLACED IN THE SAME DAY UNLESS FULLY COORDINATED THROUGH INFECTION CONTROL. CLEAN AREA TO ORIGINAL CONDITION ON COMPLETION.

J. CONTRACTOR TO INSTALL TEMPORARY BARRIERS FOR EACH PROJECT PHASE AND/OR AREA. THESE BARRIERS SHALL BE COORDINATED WITH VA HOSPITAL AND, IN MOST CASES, CONTAIN SOME FORM OF AIRLOCK VESTIBULE PRIOR TO ENTERING THE CONSTRUCTION AREA.

K. FLUTTER STRIPS OR AIR PRESSURE GAUGES SHALL BE PROVIDED AT THE ENTRANCES TO EACH CONSTRUCTION AREA. ALL CONTRACTED WORKERS SHALL BE TRAINED TO VISUALLY MONITOR THESE DEVICES FOR ADEQUATE NEGATIVE PRESSURIZATION AS THEY ENTER/EXIT THE CONSTRUCTION AREA. DAILY LOGS SHALL BE KEPT BY THE MECHANICAL CONTRACTOR TO INSURE CONSTANT PRESSURIZATION HAS BEEN MAINTAINED.

L. NEGATIVE PRESSURIZATION SHALL BE MAINTAINED IN EACH CONSTRUCTION AREA. IF LOCATED ON AN EXTERIOR WALL FANS SHOULD BE UTILIZED TO EXHAUST AIR DIRECTLY OUT A NEARBY WINDOW, TAKING PRECAUTIONS TO NOT INTERFERE WITH EXISTING BUILDING AIR INTAKES, PUBLIC AREAS, ETC. IF NO EXTERIOR WALL IS AVAILABLE THEN NEGATIVE AIR MACHINES WITH INTERNAL FILTRATION SHALL BE PROVIDED AND CONNECTION TO THE NEAREST EXHAUST OR RETURN DUCT AVAILABLE (CONTACT ENGINEER TO VERIFY EXISTING DUCTWORK CAPACITY PRIOR TO EXHAUST CONNECTION).

M. TAKEOFFS TO SUPPLY AIR DIFFUSERS AND REGISTERS SHALL BE SAME SIZE AS DUCT CONNECTION SIZE, UNLESS OTHERWISE NOTED.



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Drawing Title: GROUND LEVEL DEMOLITION HVAC PLAN	Phase: BID SET	Project Title: UPGRADE PHARMACY 797	Project Number: VA #438-20-109 SGA #201927
Approved:			Building Number: 5
		Location: SIOUX FALLS, SOUTH DAKOTA	Drawing Number: MDH101
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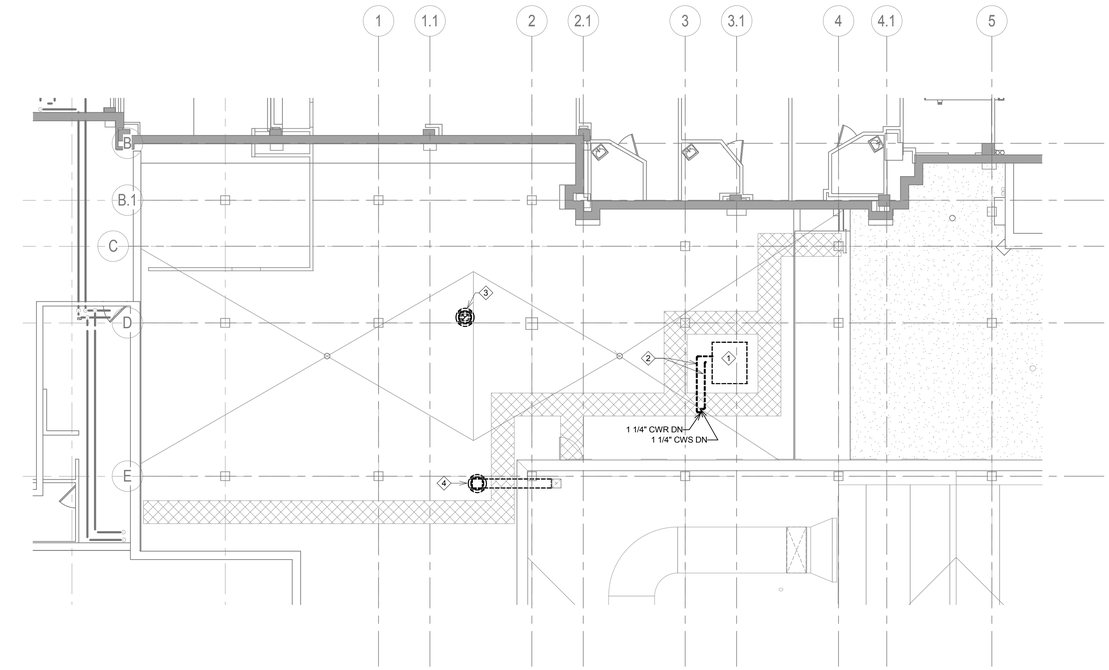


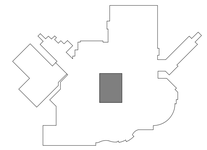
1 FIRST LEVEL INSTERSTITIAL/ROOF MECHANICAL DEMOLITION
1/8" = 1'-0"

GENERAL NOTES:

A. ANY MODIFICATIONS TO EXISTING ROOF CURBS, FLASHING, OR PATCHING OF EXISTING PENETRATIONS SHALL BE PERFORMED BY THE ORIGINAL ROOFING CONTRACTOR TO MAINTAIN ANY EXISTING ROOF WARRANTIES THAT MAY BE CURRENTLY ACTIVE.

KEY NOTES:

1. REMOVE EXISTING 5-TON CHILLER SYSTEM INCLUDING INTERNAL PUMPS, BUFFER TANK, PIPING COMPONENTS, CONTROLS, ETC. FULLY REMOVE ASSOCIATED EQUIPMENT CURB TO BE REPLACED, OR MODIFIED, FOR NEW CONDENSING UNIT EQUIPMENT TO BE INSTALLED IN THIS SAME LOCATION. CONTRACTOR SHALL USE THE ORIGINAL ROOFING CONTRACTOR TO MAINTAIN ANY CURRENT ROOF WARANTIES IN PLACE.
2. REMOVE EXISTING CHILELD WATER PIPING DOWN THROUGH ROOF, REFER TO DRAWING MDP101 FOR CONTINUATION. PATCH AND REPAIR REMAINING ROOF PENETRATIONS AS REQUIRED.
3. REMOVE EXISTING EXHAUST FAN. TEMPORARILY COVER EXISTING ROOF PENETRATION WEATHERTIGHT TO BE MODIFIED FOR NEW FAN INSTALLATION, REFER TO DRAWING MH102.
4. REMOVE EXISTING CHEMO EXHAUST TO BE REPLACED WITH NEW PLUME STACK EXHAUST FAN. REMOVE ASSOCIATED DUCTWORK BACK TO FLOOR PENTRATION FOR INSTALLATION OF NEW DOUBLE WALL DUCTWORK DIRECTLY ON ROOF, REFER TO DRAWING MH102..



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